



# WHITE BEAR TOWNSHIP

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Board of Supervisors  
ROBERT J. KERMES, *Chair*  
ED M. PRUDHON  
STEVEN A. RUZEK

## AGENDA PLANNING COMMISSION MEETING JANUARY 25, 2018

1. **6:30 p.m.** Call to Order at Heritage Hall, 4200 Otter Lake Road.
2. Approval of Agenda (Additions/Deletions).
3. Approval of Minutes November 30, 2017 .

**Welcome New Members** - Monica Loes & Steve Swisher

4. **Consent Agenda:** None.
5. **Nathan Landucci, 5508 West Bald Eagle Boulevard** – Request for:
  - Zoning Ordinance Amendment
  - Setback Variances
  - Conditional Use Permit for a Guest Cottage
6. **North Oaks Company – Cambridge Downs** – Request for a Major Subdivision and Conditional Use Permit for a Planned Unit Development.
7. **Capra's Utilities, Inc. – 2320 Leibel Street** –Request for Permitted Use Standards Permit to Allow Construction of a 18,900 Square Foot Office/Warehouse Building.
8. Added Agenda Items.
9. Adjournment.



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**Planning Commission Meeting  
January 25, 2018**

**Agenda Number:** 1 – 2 - 3

**Subject:** Call to Order – 6:30 p.m.  
Heritage Hall, 4200 Otter Lake Road  
  
Approval of January 25, 2018 Agenda  
Approval of Minutes of November 30, 2017

**Documentation:** January 25, 2018 Agenda  
November 30, 2017 Meeting Minutes

**Action / Motion for Consideration:**

Call meeting to order:	6:30 p.m.
Approval of Agenda:	January 25, 2018 (additions/deletions)
Approval of Minutes:	Meeting of November 30, 2017

**MINUTES  
PLANNING COMMISSION MEETING  
NOVEMBER 30, 2017**

The meeting was called to order at 6:30 p.m.

Present: Artner, Denn, Flann, Griffin, Kotilinek; Town Board Liaison: Ruzek; Planner: Riedesel.

Absent: Patrick

**APPROVAL OF AGENDA (Additions/Deletions):** Artner moved to approve the agenda with the following amendment: Delete 5) Nathan Landucci, 5508 West Bald Eagle Boulevard – Request for Variances and Conditional Use Permit to Allow Demolition & Construction of a Two Story Garage with a Guest Cottage. Griffin seconded. Ayes all.

**APPROVAL OF MINUTES OF SPECIAL MEETING OF SEPTEMBER 19, 2017 & MINUTES OF SEPTEMBER 28, 2017:** Artner moved approval of the Minutes of Special Meeting of September 19, 2017. Flann seconded. Ayes all.

Artner moved approval of the Minutes of September 28, 2017. Flann seconded. Ayes all.

**CONSENT AGENDA:** There were no Consent Agenda items.

**NORTH OAKS COMPANY – CAMBRIDGE DOWNS – SKETCH PLAN REVIEW FOR MAJOR SUBDIVISION & PUD:** The Planner reported that the North Oaks Company has submitted a sketch plan proposal for their 27.61 acre property located in the 5500 block of Centerville Road. The property is vacant. It is located between Centerville Road and Peterson Road, north of County Road H-2 and south of Anderson Lane. The property is approximately half wetland and half upland. The wetland portion of the property, which is primarily the northerly part of the site is 12.58 acres in area. When subtracting the wetland and existing Centerville and Peterson Road rights-of-way, the upland portion of the property is 13.01 acres in area. Since the density permitted in the zoning district allows up to 3 units per upland acre, up to 39 lots could be developed, less newly proposed roads, rights-of-way and stormwater treatment ponds and park areas. A roadway connecting Centerville Road to Peterson Road is proposed. A new road also plans a cul-de-sac serving 11 homes. A total of 31 residential lots are proposed. A PUD is requested in order to permit reduced lot sizes, permitted by the Zoning Ordinance (with limitations).

Residential PUD's are permitted by Conditional Use Permit in the R-1 zone. A PUD has several requirements which must be followed. The Planner reviewed a few of the requirements as follows: **Lot Requirements:** The minimum lot area, minimum lot width, minimum front yard setback, minimum side yard setback, minimum rear yard setback, minimum percentage of green area and off-street parking space requirements shall comply with the zoning district regulations in which the Residential Planned Unit Development is proposed to be located. Departures from such regulations may be permitted where the resulting requirements will not have an adverse effect upon the health, safety and welfare of the Town. In no event shall single family dwelling units in a Residential Planned Unit Development have a minimum lot area of less than nine thousand five hundred (9,500) square feet, a minimum lot width of less than seventy (70) feet and a minimum corner lot width of less than ninety-five (95) feet. Where departures

**MINUTES  
PLANNING COMMISSION MEETING  
NOVEMBER 30, 2017**

from such regulations are permitted the average lot area shall be no less than the minimum lot area in the zoning district.

Standard minimums in the zoning district require a lot to be at least 80 feet wide and 12,000 square feet in area. The maximum density permitted is 3 units per upland acre.

A PUD allows minimum lot sizes to be reduced to a width of 70 feet and lot area of 9,500 square feet. The average lot size for a PUD is required to meet zoning requirements of the district (average of 12,000 square feet per lot). The maximum net density must not exceed 3 units per acre. The developer is proposing 31 single family lots ranging in size from 9,550 square to 16,981 square feet. The average lot area as proposed is 11,222 square feet, less than the 12,000 square foot requirement.

The maximum net density of dwelling units per acre shall not be greater than the density regulation of the zoning district in which the Residential Planned Unit Development is proposed to be located.

The maximum net density permitted in the zoning district is 3 per acre. Density is defined as the maximum number of dwelling units per acre of buildable land exclusive of wetlands, drainage retention areas, floodways, lakes, streams, public parks and public or private road rights-of-way. The sketch plan shows a future road right-of-way taking 1.8 acres of the property and .83 acres of stormwater treatment ponds. Based on these calculations, 10.34 acres of "buildable land" allows for 31 units on the property. It must be noted that no parkland has been deducted from the density. At least ½ acre of upland recreation area must be provided by the developer of a PUD. The upland recreation acre must be deducted. There appears to be a total of 9.84 upland acres available for development.

A minimum of thirty five (35) percent of the area of a Residential Planned Unit Development having multiple family dwelling units shall be reserved for passive recreational open spaces. Areas for passive recreational open space shall be exclusive of lakes, streams, wetlands and the right-of-way of public thoroughfares. Passive recreational open space shall be located within the Residential Planned Unit Development so as to abut parks, playgrounds, trails, open spaces, lakes, streams or wetlands on adjacent properties.

Active recreational areas shall be provided in all Residential Planned Unit Developments. The amount of area provided for active recreational uses shall be in proportion of two (2) acres of land per one hundred (100) dwelling units. In no event shall less than one-half (1/2) acre of land be provided for active recreational use. Areas for active recreational use shall be exclusive of lakes, streams, wetlands and the right-of-way of public thoroughfares. Active recreational areas shall be provided in addition to the requirements of Section 7-10.1(f) (Minimum Green Area) and to the park land dedication requirements of Ordinance No. 15 (Subdivision Ordinance).

No recreation area is shown on the plan. A minimum of 1/3 acre must be provided. It must be noted that the Comprehensive Plan shows a future neighborhood park in this part of the Town. While it will not likely be on this property, the ½ acre recreation area must be

**MINUTES  
PLANNING COMMISSION MEETING  
NOVEMBER 30, 2017**

provided and shown on a development plan. The Park Board is reviewing the location of a new park in this neighborhood.

A standard 60' public right-of-way is planned for the new roads in the development. A Landscaping Plan has not been submitted as part of the sketch plan proposal. Regarding variances, the provisions of Section 8-6 (Variances), no variances shall be granted to the site plan and building plan designs of an approve Planned Unit Development. The proposed development consists of single family homes on undersized lots as permitted in a Planned Unit Development. The tradeoff for allowing undersized lots is to design a development which avoids destruction of natural features such as trees and wetlands. In addition, recreation land must be provided plus any park dedication requirements approved by the Town. The proposed lots are 55' wide with lot areas from 9,550 square feet to 16,981 square feet in area. Separation between buildings is proposed to be 15 feet. The 15 foot separation between buildings was permitted by the Town in the Brandlwood PUD, developed in the 1980's. Lot sizes were required to be no less than 9,500 square feet with an average of 12,000 square feet. The Town has also allowed PUD's using a small lot design with common space surrounding the small lot. Developments approved using this design were required to have a 20' minimum spacing between buildings. These types of developments were not allowed to exceed the density requirements of the zoning district. The developer of Cambridge Downs has designed this sketch plan for review. The project is also being provided to the neighborhood for public input. The developer is looking for Planning Commission input into the proposed sketch plan. Based on the submitted plan, staff made the following comments:

- The density of the proposed development must be recalculated to include the active recreation area required by a PUD. The active recreation area must be shown on the site plan.
- The lot widths and average square footage per lot must meet minimum Zoning Ordinance requirements.

Gary Eagles, Vice President of Development for the North Oaks Company reported that Pine Hill project on County Road H-2 and Centerville Road was traditional lot size. The project was built by Hanson Builders. They looked at marketing the homes to empty nesters but turned out to be empty nesters and family. That project is two-thirds built out. For the Pine Hill project the Town accepted a trail rather than park space. When the North Oaks Company decided to develop this last residential portion of the Township, they reached out to potential builders. The biggest demand seems to be for the empty nester market or millennials without kids. They prefer yards that are smaller, with an association to provide lawn care, irrigation and snow removal. Smaller lots were proposed to fit that market. The homes are single family homes with 1,800 square feet on the main level. There will be a mix of two story homes as well. Mark Houge stated that they are trying to fit value for the buyers. People want a nicer house on a smaller lot. Millennials do not want to spend the time caring for the lawn, etc. so an association fits in with what they want to care for lawn, irrigation and snow removal. Their plan is in direct response to what appears to be wanted. It also provides the North Oaks Property with an opportunity to do something with this land given the amount of wetland. There is a lot of area on the property which is wet which can be made into a nice amenity. They have tried to find a compromise that would work for everybody. He stated that at the meeting Tuesday night people stated that the

**MINUTES  
PLANNING COMMISSION MEETING  
NOVEMBER 30, 2017**

homes were lined up in too straight a line. He presented a new sketch plan which showed the homes staggered. The homes would be 1,800 square feet with a two car garage. They were very sensitive to having a buffer with large trees.

Comments from those present included:

- How many homes are proposed? (31 homes are shown on the plan.)
- Steve Pasket, 5441 Peterson Road stated that his concern is the single row of homes. There are three property owners on the south line. The developer is proposing 15 homes there. There are only 9 homes between Peterson Road and Centerville Road on County Road H-2. It seems too tight. On county roads if they are packed tighter it is not so bad. The lot sizes are far below what is around there. The developers will have a hard time marketing them. He stated that he does feel that a millennial would want to drive that far out to live on such a small lot. He stated that it does not seem to be what was sold on the Pine Hill development. A bigger lot size and bigger house would be better. He stated that none of them would complain if the plan was similar to Pine Hill. He asked what the rejectable criteria are that they can go up against, as neighbors. He asked if there is a petition that they need to file to stop it.
- Ed Prudhon, 5435 Peterson Road stated that developments in the last 25 years have been against the freeway, the Benson Airport, open spaces, or commercial properties, such as the Meadowlands. He stated that this spot picked out for a PUD is not compatible. They all knew that there would be a development in this spot, but no one ever thought that there would be 31 homes put there. With 55' lots with a 24' driveway there is no place to park, hardly on the street. He stated that there are houses right on top of each other. On sketch plan #3 the first three homes to the east and south would have to be pushed to the west to get the line to line up for the utility easement lined up with his property. This can be worked out but the lots have to be shifted. There is a PUD on Portland where the homeowners are complaining about parking. They want to post no parking on the cul-de-sacs since there is no place to park in the street. Homeowners associations are great when they work but when they don't the Town has to step in. The area proposed by North Oaks Company seems like a nice area for residential homes with 12,000 square feet. This is what people want. He stated that this is way too much density for this small buildable area.
- Linda Price, 5425 Peterson Road asked if they are completely against putting single family homes in the development. Gary Eagles stated that they are not. They came to the conclusion that this is what people want and they try to provide options and this is the way they went. It is a very challenging site and they had to consider what kind of development they could provide that people would want to buy. People are asking for this type of development and this is an opportunity to meet the challenges of the site and provide what people want.
- A neighbor stated that there are still lots in the Pine Hill development that have not sold. Gary Eagles stated that it takes time to market the lots and they want to go ahead with

MINUTES  
PLANNING COMMISSION MEETING  
NOVEMBER 30, 2017

the new development before it is too late. The lots in Pine Hill that have not sold are the bigger lots that are more expensive, but which are actually the nicest lots. What sold first were the smaller least expensive lots.

- Ed Prudhon stated that walk outs were indicated. He asked if there is even a possibility of having walkouts on the south side. Gary Eagles indicated on the sketch plan which lots would have walk outs and which would not. For many years walk outs were the trend, but now the trend is for older people who want to walk from their kitchen to their backyard and not have to go out to a deck to walk out. There may be an opportunity for some walkouts and they will look at it. Prudhon stated that the North Oaks Company does a great job and are good to work with which makes it hard to understand the density of this project.
- A neighbor stated that she would rather see 55+ buyers go in there and not millennials. People in this area have raised millennials! Millennials like to have restaurants, bars, etc. close and not to live out in the suburbs. Gary Eagles stated that originally they were approached to have a development for 55+ and they were fine with that.
- Leif Eischen, 5451 Peterson Road stated that his property is adjacent to the southeast corner of this development. He stated that when he purchased his property he never believed that he would have three backyards abutting his property. This development would totally change the character of the neighborhood. This is a small quiet, single family area with a gravel road. This density shocks him and the increased traffic is a factor.
- A neighbor noted that there would also be the potential for increased crime. She stated that there has been an increase since the Pine Hill development was developed. She stated that she is not sure that has anything to do with increased crime but crime did increase at that time.
- A neighbor stated that he envisioned maybe 12 – 15 houses spread out across the property, not a development that is too dense. It will drastically change this corner of the Township. Gary Eagles stated that part of the challenge is the wetland. They pay taxes on 30 acres, wetland or not.
- Jake Walton, 5440 Centerville Road asked if they would keep similar construction to what is in the area. He stated that he does not want the rules bent to allow higher density so developers can make more money on the property. He stated that this is a variance to the zoning to maximize the property. He stated that the proposal as presented will have an impact on all of the neighbors living in the area.
- Jen Walton, 5440 Centerville Road stated that at the meeting the other night she understood that the lots would be 9500 square feet. Another neighbor stated that he understood that. Gary Eagles explained that they can go as low as 9500 square feet but it has to average 12,000 square feet. Jen Walton asked if the sketch plan shows each lot at 9500 square feet. It was noted that the lots averaged from 9,550 to 15,981. The average calculated is 11,200 square feet.

MINUTES  
PLANNING COMMISSION MEETING  
NOVEMBER 30, 2017

- A question was asked how it works when there is no dedication for a park. The Planner stated that the Town has the option of accepting park dedication fee or land for a park. Under a Planned Unit Development the developer is required to provide a minimum of one-half acre for active recreation area. According to the Comprehensive Plan the Town has all the parks required with one exception. This is in the Peterson Road neighborhood. The Town leases Garley Park and this may be where the park will be. With this development a fee will likely be asked. However, there still needs to be one-half acre of park land. There could be a trail system but it has not been discussed yet. The Park Board would like to see more trails. The Pine Hill development provided a trail for park dedication. That trail is proposed to extend south to connect up to the trail at Heraeus. The trail would tie into Peterson Road and to Anderson Lane on property which the Town has.
- A neighbor asked about utilities, particularly water. The Planner stated that the residents can petition for water. It is their decision. There is a 16' extension along County Road H-2 when Centerville Road was reconstructed. The line was never energized. It goes to the south end of the property. A connection was made.

The Chair polled the Planning Commission members regarding the input to the sketch plan.

Artnier stated that she has some real issues with the traffic along Centerville Road which will bring additional traffic from the proposed grocery store. She stated that she does not like the density. As far as millennials, they want to live in urban areas and not in the suburbs. They like high rises and lofts. The Township has typically been more spacious. That is why people move our here. There is also the need for more utilities, particularly water, which has become a commodity. She stated that the proposed name "Cambridge Downs" does not fit in with the Township. Artnier stated that she does not see this development as fitting into the neighborhood. The planning could be done better. She gave a "thumbs down" to the proposed sketch plan.

Kotilinek stated that if there will be an association that takes care of the yards, why do the lots have to be small. If you get away from a PUD and have larger lawns it would be better.

Flann stated that the biggest issue is the row of houses along the south. Density is tight but okay. However the south side needs to be re-worked and back off a bit. He agrees with the statement about millennials. They want to be downtown. Empty nesters would seem better.

Griffin stated that he works with millennials and they live in apartments or lofts downtown with the retail downstairs on first floor. He stated that the people who move into the proposed development would have to be interested in living out there. He stated that the marketing analysis is flawed for this project.

Ruzek asked about the size of the cul-de-sac. He noted that the cul-de-sac at the Boardwalk was too small and too tight. It was noted that there will be 60' rights-of-way and 32' wide streets

MINUTES  
PLANNING COMMISSION MEETING  
NOVEMBER 30, 2017

which is the standard street width. The cul-de-sac is shown with a 50' radius. Ruzek stated that the density is an issue.

Denn stated that he agrees with the Planning Commission members. The density really strikes. He believes that residents of the Township really want more space. He stated that with the driveways parking will be really tough. He stated that it fits under the ordinance as an exception but does not fit with the character of the neighborhood.

Gary Eagles stated that they will take all the comments under review and come back.

Artnr moved to recommend to the Town Board that the sketch plan reviewed at tonight's meeting be turned down as presented. Flann seconded. Ayes all.

**CLEAR CUTTING ON BALD EAGLE LAKE:** The Planner reported that the Planning Commission directed staff to contact abutting communities regarding clear cutting. It appears that other communities have standard wording on the matter. Artnr noted that at the south end of Bald Eagle Lake the ice, during the winter, takes out the soil. She reported 15 feet of trees have been skimmed and the shoreline area is gouged. She reported that if trees are trimmed the roots, should be left, to hold the soil together. Kotilinek asked if there are DNR staff who could come and look at what the people did. The Planner reported that he will talk with the watershed district.

Artnr moved to adjourn the meeting at 7:48 p.m. Flann seconded. Ayes all.

Respectfully Submitted,

Joan J. Clemens  
Recording Secretary



**Planning Commission Meeting  
January 25, 2018**

**Agenda Number:**

**Subject:** Welcome New Members –  
Monica Loes  
Steve Swisher

**Documentation:** Oath's of Office

**Action / Motion for Consideration:**

Oath of Office Given to New Members







**Planning Commission Meeting  
January 25, 2018**

**Agenda Number: 4 Consent Agenda**

**Subject: None**

**Documentation:**

**Action / Motion for Consideration:**

Receive Information / Discussion



## Planning Commission Meeting January 25, 2018

**Agenda Number:** 5

**Subject:** Nathan Landucci, 5508 West Bald Eagle Boulevard –  
Request for:

- Zoning Ordinance Amendment
- Setback Variances
- Conditional Use Permit for a Guest Cottage

**Documentation:** Staff Memo  
Variance Application

### Action / Motion for Consideration:

Receive Information / Discussion

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**Minutes**  
Variance Board Meeting  
January 17, 2018

**NATHAN LANDUCCI, 5508 West Bald Eagle Boulevard – Request for: 35' Right-of-Way Setback Variance; 17' Lakeshore Setback Variance; 6' Height Variance; .75' side Setback Variance; 5.5% Green Area Variance; 100 Square Foot Guest Cottage Size Variance:** Riedesel summarized the proposal to replace the West Bald Eagle Boulevard garage, which is the garage lot for Bald Eagle Island, with a new structure. The new structure is proposed to include a guest cottage on the second story. The existing garage is 26' wide x 24' deep. A Conditional Use Permit is required to construct a guest cottage.

The Variance Board met with Mr. Landucci in November. At that meeting, the Variance Board recommended that the proposed guest cottage be reduced in area and the kitchen be eliminated from the proposal.

The garage lot is 2,613 square feet in area. The island is over an acre in area but cannot be tied to the island for tax purposes since it is located several hundred feet from the garage. The County will not tie the two together due to the distance between the structures which are in different sections. As a result, a 5.5% green area variance must be approved for the new structure.

The Variance Board discussed the requests and it was the consensus that the two properties should be tied together for zoning purposes. Since the County will not tie the properties together, the Variance

Board would like to see a deed restriction on the properties which will keep the two properties together and cannot be separated.

Johnson noted that he has been doing research with regards to accessory buildings and state code. The State Building Code requires a building permit for any structure over 200 square feet in area. The Town requires a building permit for an accessory structure over 150 square feet currently. Johnson feels that a Zoning Permit should be issued for any accessory structure less than 200 square feet in area.

Johnson also feels that the maximum allowable height of accessory structures should be limited to less than it is now. There was discussion regarding Mr. Landucci's proposed building. It was noted that the proposed structure is considered a guest cottage.

The Variance Board discussed the details of Landucci's proposal. The size of the guest quarters was discussed, it was calculated by Nate Landucci as 672 square feet in area on the second story. The footprint of the garage is approximately 800 square feet.

The existing garage has a 0' setback from the right-of-way. The new structure is proposed to have the same setback (0'). The Variance Board discussed extending the driveway so the garage has a setback from the road. It was noted that adding to the driveway will increase the impervious area on the lot.

Johnson noted that an accessory structure cannot be used for sleeping. The plan revisions as presented by Mr. Landucci meet the recommendations of the Variance Board discussed at the November meeting.

Short asked Landucci – What the purpose of the guest cottage is proposed to be and how will it be marketed when the home is put up for sale?

Landucci plans to define the building as a refuge area when the weather makes crossing the lake dangerous.

Short noted that the Bald Eagle Island zoning district could be amended so the proposed accessory structure is defined as a "place of refuge" vs. a guest cottage.

Landucci prefers to call the proposed living quarters a "guest cottage" since it is currently permitted and regulated by the Ordinance. He noted that he has followed the direction given to him by the Variance Board, the size of the guest cottage is less than 400 square feet in area and improvements were eliminated from the cottage such as the kitchen.

Short suggested that due to the small size of the lot, the purpose of the structure should be limited to a "place of temporary refuge" vs. a guest cottage.

Landucci noted that the unit will see very little use and will not be used for rental purposes or living quarters, etc.

Short noted he supports the concept for the "temporary refuge". He would like to see the garage lot tied to the island with added restrictions. He would also like to see the Town amend the Zoning Ordinance, eliminating the "commercial/residential recording and film post production studio" from the list of uses permitted in the BEI District.

Landucci can support the elimination of the "studio" from the list of Conditional Uses in the BEI District.

Short recommended the island and garage lot zoning be consistent as BEI. Short felt he could support a 31% coverage on the lot since the overall impervious area when the island is included in the calculation is much less than 25%. He also proposed the following additional requirements:

- The “temporary refuge” cannot be used more than 30 days per year.
- The “refuge area” cannot be used for more than 2 consecutive days.
- The garage lot shall be rezoned to BEI.
- Recording studio shall be eliminated from the list of Conditional Uses in the BEI District.
- Refuge area must be defined and included in the amendment to the BEI District.
- The Town will allow the use of a portion of the garage as a temporary refuge only so long as there is a house located on Bald Eagle Island.
- This is considered a unique and necessary connection to the island and is considered part of the island property.

The Variance Board requested Mr. Landucci submit a survey for the property.

Short recommended approval of the requested variances subject to the conditions described above. Johnson seconded. Ayes all.

## MEMORANDUM

**TO: PLANNING COMMISSION**  
**FROM: TOM RIEDESEL**  
**DATE: JANUARY 2, 2018**

**SUBJECT: GARAGE RECONSTRUCTION / GUEST COTTAGE**

**REQUESTS: 35' RIGHT-OF-WAY SETBACK VARIANCE**  
**17' LAKESHORE SETBACK VARIANCE**  
**6' HEIGHT VARIANCE**  
**.75 SIDE SETBACK VARIANCE**  
**5.5% GREEN AREA VARIANCE**

**LOCATION: 5508 WEST BALD EAGLE BOULEVARD**  
**ZONING: R-1, SUBURBAN RESIDENTIAL**  
**APPLICANT: NATHAN LANDUCCI**

Mr. Landucci is requesting Town approval of setback variances and Conditional Use Permit which would allow demolition of the existing garage and replacement of a new 2 story garage located on West Bald Eagle Boulevard. The existing garage has a footprint of 26' wide by 24' deep. The garage footprint is proposed to be expanded to 30'10" wide by 26' deep. The garage is proposed to have a second story with living quarters. The living quarters are proposed as a guest cottage, which is permitted by Conditional Use Permit, subject to meeting Zoning Ordinance conditions.

The Variance Board met with Mr. Landucci in November and requested that he consider eliminating the kitchen and reducing the size of the living area in the proposed guest cottage.

The garage is located on a 2,613 square foot lot on West Bald Eagle Boulevard. The garage serves 1 Bald Eagle Island and is the only structure, other than the driveway, located on the lot. The existing garage is 26' wide by 24' deep and is a single story. The garage is proposed to be demolished and replaced in approximately the same location with the 2 story garage. The lot is 41.35' wide and subject to the following setbacks:

- 50' lakeshore setback
- 6.00' side setbacks
- 35' right-of-way setback

Mr. Landucci is requesting the following setbacks:

- A 33' lakeshore setback - requiring a 17' variance

- A 5.25' side setback - requiring a .75' side setback variance on one side of the garage
- A 6' side setback – no variance required
- A 0' right-of-way setback requiring a 35' variance

Since Mr. Landucci is proposing to construct a guest cottage above the new garage, requirements of the Zoning Ordinance relating to guest cottages must be met. One requirement for a guest cottage is that it not exceed 15' in height. The two story structure is proposed to be 21' in height as measured from grade to the average of the highest gable. A 6' height variance is requested.

It must also be noted that the garage is proposed to be 800 square feet in area. The upper portion of the guest cottage is proposed to be 672 square feet in area, which meets guest cottage requirements. Twenty-five percent maximum coverage is permitted on the lot. The lot is 2,613 square feet in area. The garage is proposed to cover 30.6% of the lot. The driveway is not included in this calculation as it is in the public right-of-way. If the island is included in the square footage of the property, the 25% impervious area maximum is not exceeded when including the garage lot. However, after contacting Ramsey County Property Records & Revenue Department it was found that due to the distance between the island and the garage lot, the two cannot be combined for tax purposes. The Variance Board reviewed the proposal and recommends that Mr. Landucci attach the properties using deed restrictions on both lots (requiring that they remain together).

Section 9-6.4 of the Zoning Ordinance sets the standards which must be met in order to approve a variance. It states:

- (1). Without issuance of a variance, the provisions of this Ordinance would deprive the applicant of a reasonable use of property under the terms of this Ordinance.
- (2). That the special conditions and circumstances do not result from the actions of the applicant.
- (3). That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, structures, or buildings in the same district.
- (4). That the proposed action will not unreasonably increase the congestion on public streets.
- (5). That the proposed action will not increase the danger of fire or endanger the public safety.

- (6). That the proposed action will not unreasonably diminish or impair established property values within the neighborhood or in any other way be contrary to the intent of this Ordinance.

In addition to the variances being requested, Mr. Landucci is requesting approval of a Conditional Use Permit which would allow the second level of the garage to be used as a guest cottage. Guest cottages are permitted in the R-1 residential zoning district. A guest cottage must meet the following requirements in order for Conditional Use Permit approval. They include:

- The residential lot in a sewerred area must be at last 24,000 square feet in area.

The lot where the garage/guest cottage is proposed is 2,613 square feet in area. The island is 2.33 acres.

- The structure design, building materials and color shall be compatible with the principal structure and surrounding land uses.

The garage is proposed to be consistent with the home on the island.

- The structure shall not be used for rental purposes.

No rental of the guest cottage is planned.

- The guest cottage must pay one service (sewer & water) for each utility serving the property.

A Metro sewer availability charge (SAC) and local sewer availability charge and water availability charge (WAC) must be paid in addition to the Utility Connection Fee as the property was not assessed in the past. These fees will amount to \$25,425.00.

- A guest cottage shall not cover more than 700 square feet of land and shall not exceed 15' in height.

The footprint is proposed to be 800 square feet in area. The area of the guest cottage is proposed to be 672 square feet in area. The height is proposed to be 21'.

- A guest cottage in the Shoreland Management District must be designed to reduce its visibility as viewed from the lake (Bald Eagle).

The guest cottage is proposed to be used in the event of poor weather, which would limit access to the island. There are no plans to rent the living quarters, which would not be allowed or to utilize the building for living purposes, full time.

A total of 4 variances are being requested in addition to the Conditional Use Permit for the guest cottage. At the two previous Variance Board meetings, the Variance Board discussed ordinance amendments which may be preferred to approving the requested variances. Options considered include:

1. Rezone the garage lot from R-1 to BEI so it is consistent with the island zoning. Specific requirements allowing a guest cottage would have to be adopted to accommodate the guest cottage.
2. Amend the height requirements of the guest cottage section of the ordinance allowing structure height up to 21 feet (15' maximum height is currently permitted).

If recommended, the Variance Board may want to also consider amending the green area requirements allowing a guest cottage to cover up to 31% of a lot or acknowledge that deed restrictions tying the lots together must be provided by the owner.

If the Zoning Ordinance is amended to accommodate the Landucci proposal, a right-of-way setback variance, a lakeshore setback variance and side yard setback variance must also be approved for the new structure.

### **Conditional Use Permit:**

A guest cottage meeting Zoning Ordinance requirements is permitted in the R-1 Zoning District. Since the structure is proposed to be 6' taller than is permitted by the ordinance, and 100 square feet larger, the building must be reduced in height and size or a height square footage variance must be approved by the Town. In the alternative, the Zoning Ordinance may be amended. If the Conditional Use Permit is recommended for approval, it must be subject to approval of the requested variances and payment of a utility connection fee and payment of SAC, WAC and local SAC fees.

### **Variances:**

The following variances are requested:

- A 6' guest cottage building permit height variance
- A 17' lakeshore setback variance
- A 35' right-of-way setback variance
- A .75 side yard setback variance
- A 5.5% green area variance (not required if the properties are tied together per deed restrictions)

Guest cottages are limited to 15' in height. If this were a two story garage, no height variance would be required providing that the garage does not exceed 25' in height. Height variances are unprecedented in the Town, for the past 25 plus years. Previously when an applicant wanted to exceed height requirements, the Zoning Ordinance was amended rather than approval of a height variance. Zoning Ordinance amendments to exceed height requirements were approved for Schwing America and Cortec Corporation, both businesses. No height variances have been requested in a residential zone recently.

**Lakeshore Setback Variance:**

A 50' lakeshore setback variance is required, a 17' lakeshore setback variance is proposed. Since the maximum depth of the lot is less than 70', either a lakeshore or right-of-way setback variance must be approved, or both to allow any structure on the lot.

**Right-of-Way Setback Variance:**

A 35 right-of-way setback is required. The existing garage appears to be located up to the West Bald Eagle Boulevard right-of-way line. The new garage is proposed to be constructed using a larger footprint the existing garage.

**Side Setback:**

A .75' minimum side setback variance is requested. Based on the proposed width of the garage. One side yard setback variance must be approved.

The following are recommendations for the Variance Board to consider:

1. Approve:
  - A 35 right-of-way setback variance
  - A 17' lakeshore setback variance
  - A .75' side yard setback variance
  - A 6' height variance
  - A 5.5% green area variance
  
2. Approve an amendment to Section 7-9.7(d) as follows:

A guest cottage shall not cover more than 700 square feet of land surface and shall not exceed ~~45'~~ 21' in height.

In addition Section 7-9.7 should also be amended reducing the minimum lot size permitted from 24,000 square feet to 2,613 (2,500) square feet

unless deed restrictions are provided. If recommended for approval, the following variances must be approved:

- 35' right-of-way setback variance
  - 17' lakeshore setback variance
  - .75' side yard setback variance
3. Rezone the garage lot from R-1 to BEI Zoning. Set the following BEI zoning requirements:

Minimum right-of-way setback requirement = 0'  
Minimum lakeshore setback requirement = 10' (consistent with the lakeshore accessory structure setback requirement. It must be noted that allowing an 800 square foot structure is double the size of an accessory structure permitted in a Shoreland Management Zone, with a 10' setback.

4. Deny the variances as requested since as requested they do not meet the standards set forth by the Zoning Ordinance to approve.
5. Deny the Conditional Use Permit request for the guest cottage since the lot is 2,613 square feet in area not meeting the 24,000 square foot minimum lot size, the proposed building exceeds the square footage and height requirements permitted by Section 7-9.7(d) of the Zoning Ordinance.
6. Approve the Conditional Use Permit as requested, subject to approval of the variances as requested or in the alternative, the Zoning Ordinance amendments as discussed.

TR/psw  
cc:admin/add.file  
b:landuccigarage

January 17, 2018

Hello Neighbor,

I am the owner of 1 Bald Eagle Island and the garage at 5508 West Bald Eagle Blvd. I have recently talked to the township staff about tearing down and rebuilding the garage with a 2-story structure and would like to share the proposed plans with my close neighbors.

I would like to invite you to discuss the proposed garage details, architectural drawings and survey at the Ramsey County Library in the Large community program room on Wednesday, January 24th at 6:30 p.m. The library's address is 2150 2nd Street in White Bear Lake. Please feel free to invite any other neighbor not copied below that you feel would be interested in learning more about the proposed garage.

Attached are the proposed plans for your review.

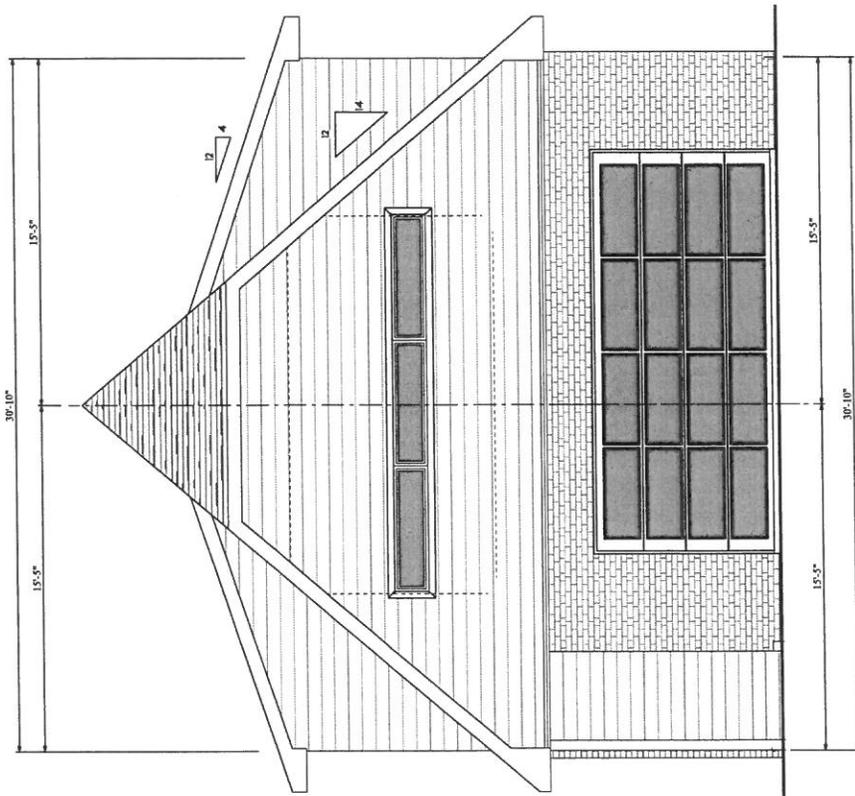
Best regards,



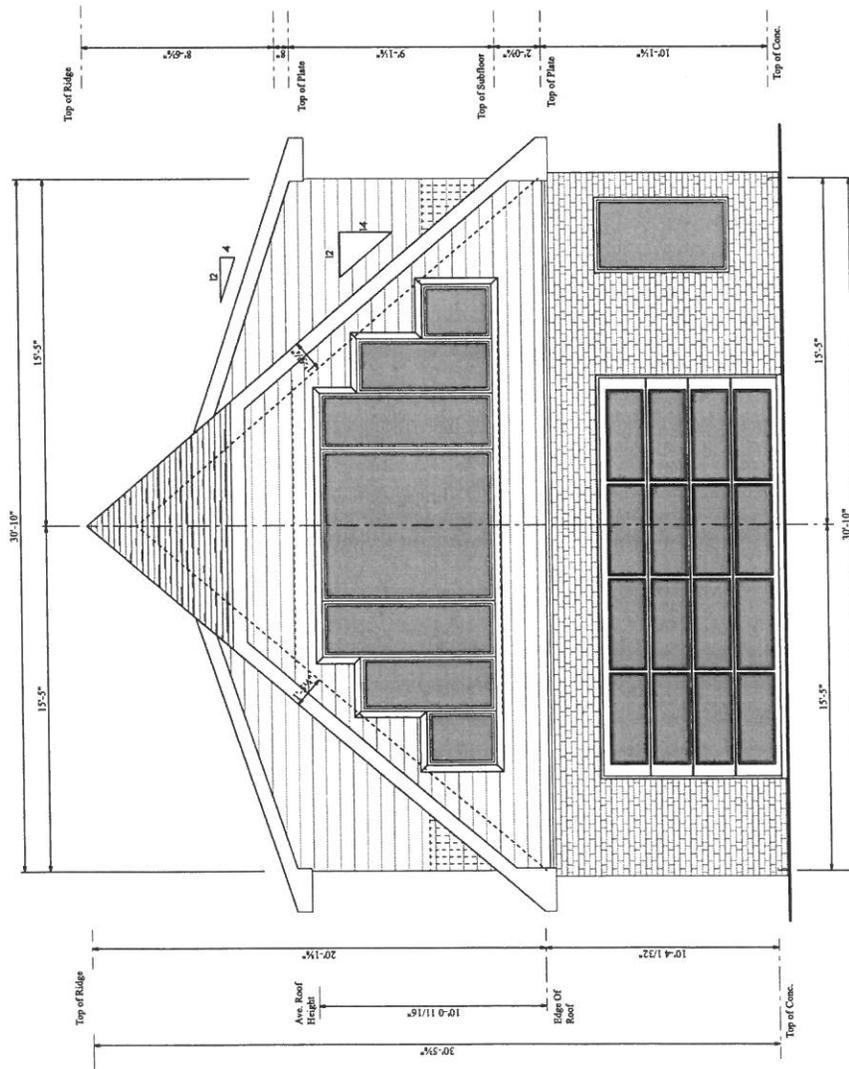
Nathan Landucci  
1 Bald Eagle Island  
White Bear Township, MN 55110  
651-894-2582

Att.

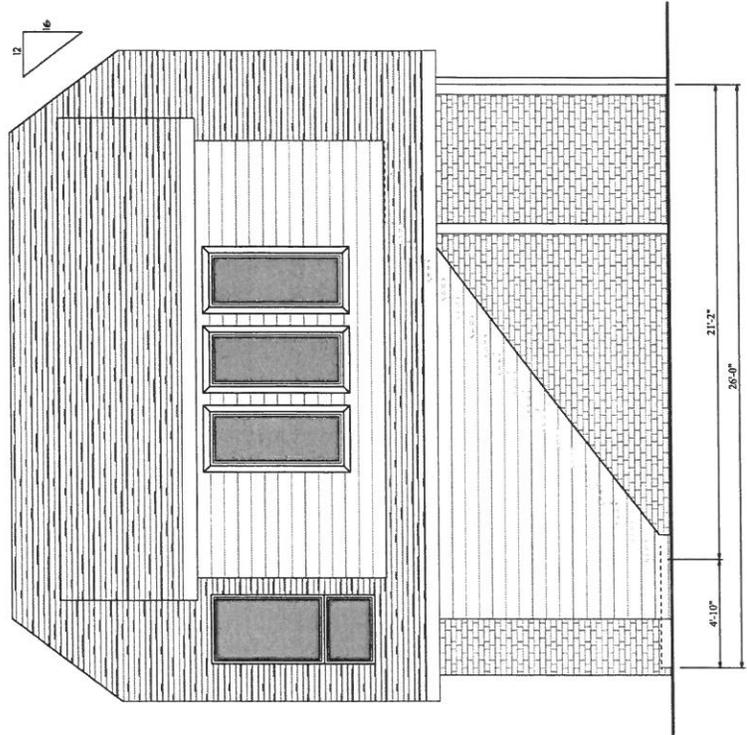
cc: Helen Jagger  
Patrick and Katharine Churchhill  
Michael Hannan and Mina Ingersoll  
Jamie Buskirk  
Randal and Kathleen Burns  
Gary and Vicki Kraemer  
Matt Hartley and Kevin Newberry  
Kenneth and Deborah Visser



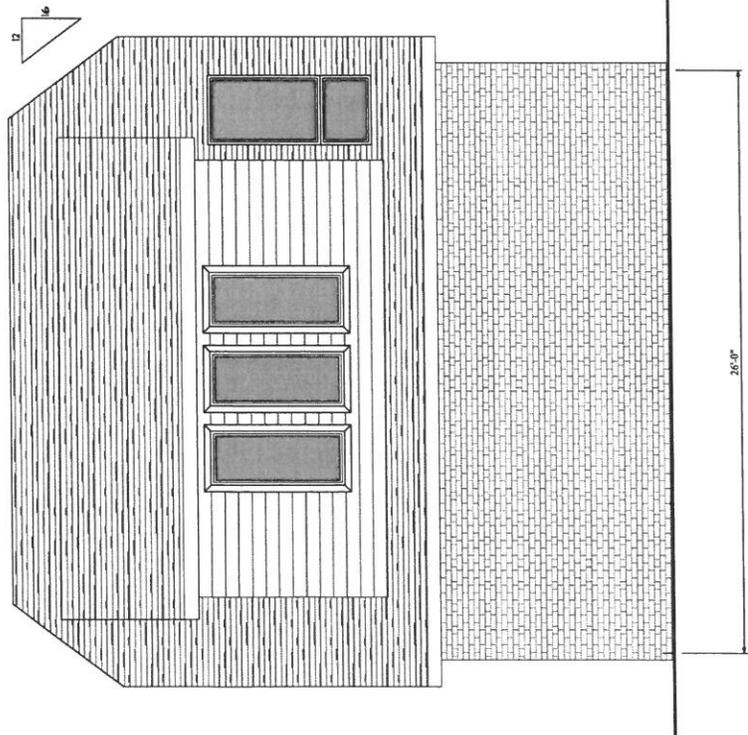
EAST ELEVATION (ROAD)



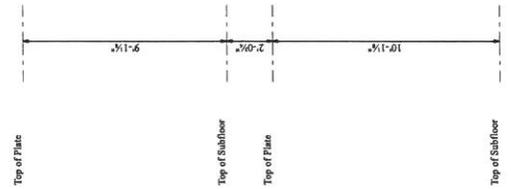
WEST ELEVATION (LAKE)

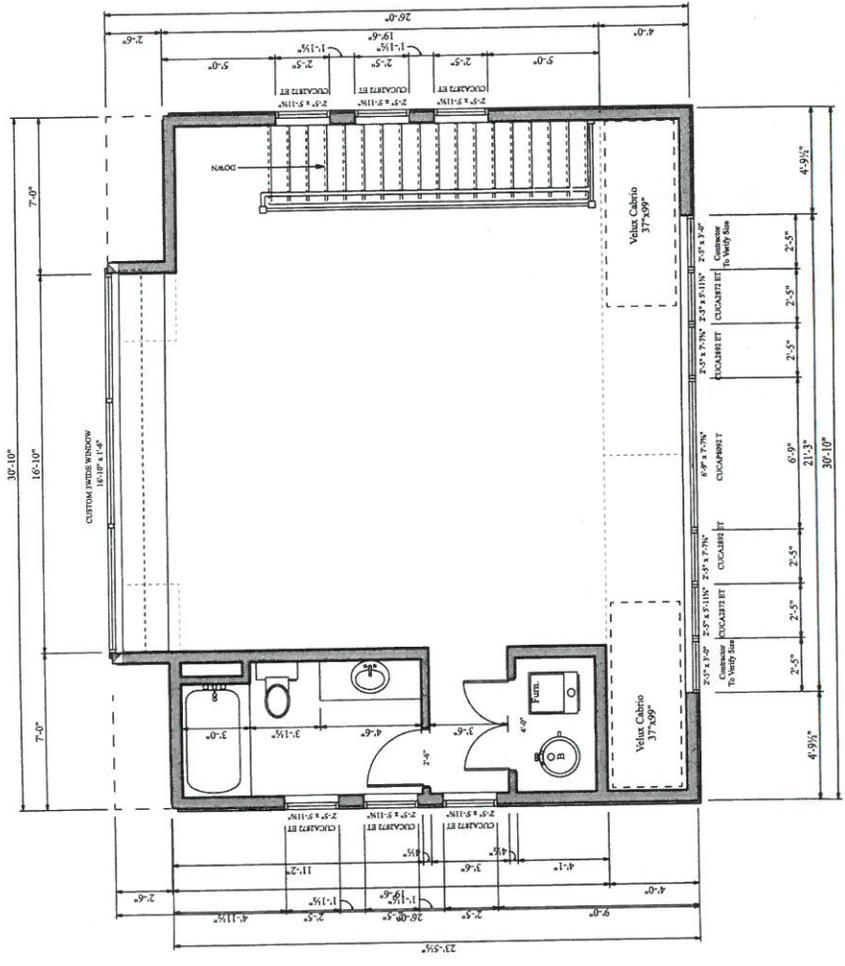


NORTH ELEVATION



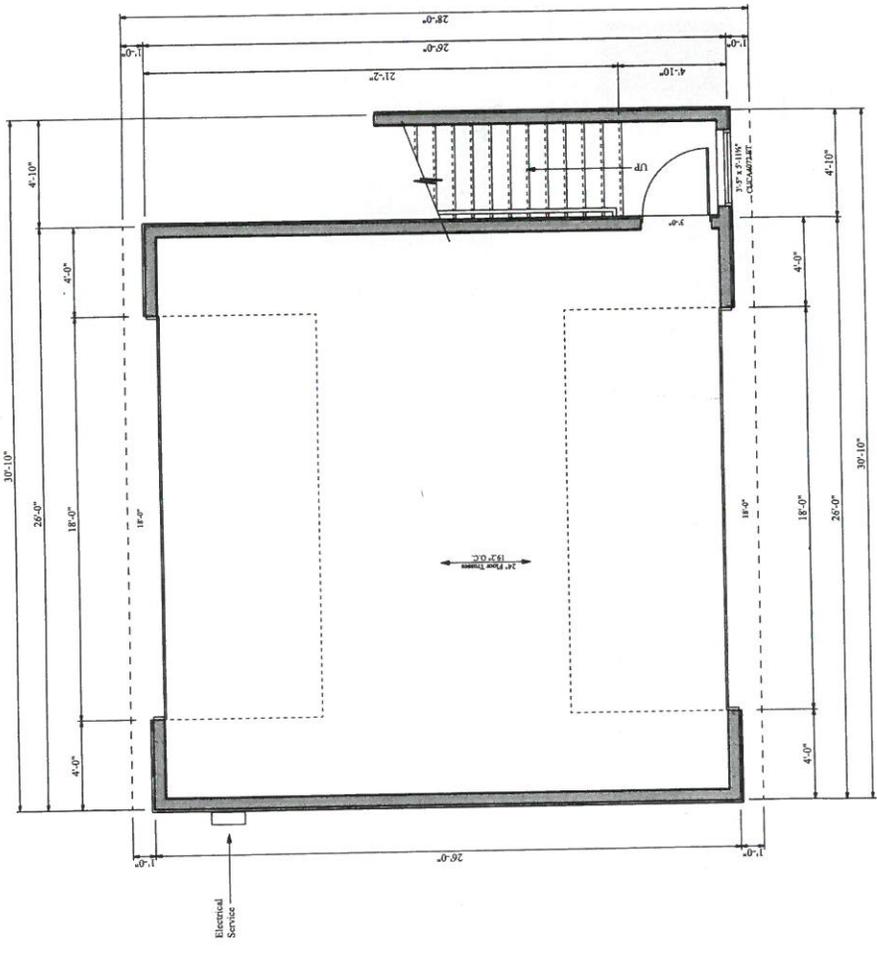
SOUTH ELEVATION



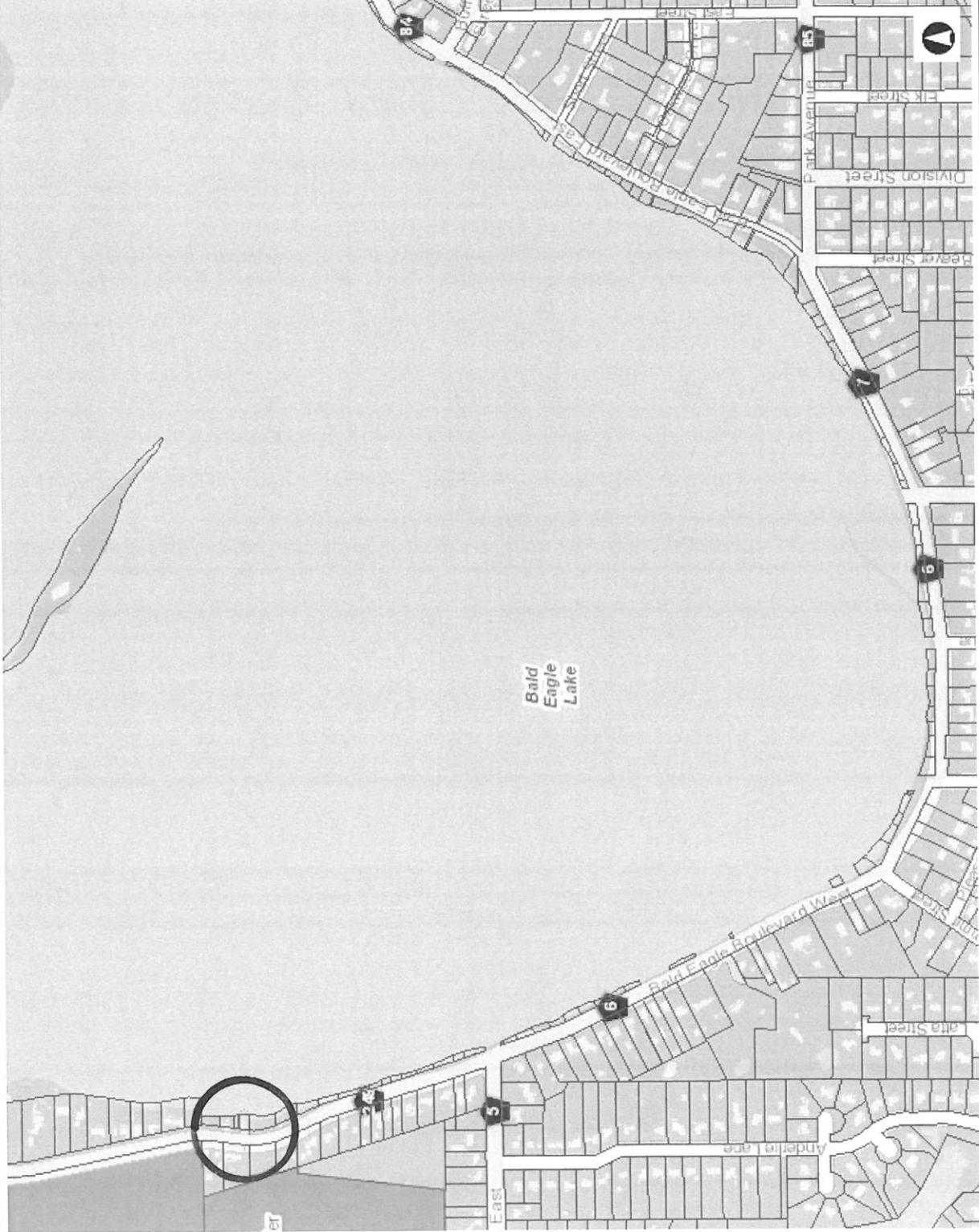


UPPER FLOOR GARAGE 1.1.2018  
 FSF = 672

*Excluded Utility Stairs*



MAIN FLOOR GARAGE - 1.1.2018  
 SF = 699



1,333.3  
666.67  
0  
1,333.3 Feet

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.  
THIS MAP IS NOT TO BE USED FOR NAVIGATION

**Legend**



- City Halls
- Schools
- Hospitals
- Fire Stations
- Police Stations
- Recreational Centers
- Parcel Points
- Parcel Boundaries

**Notes**

Enter Map Description



# VARIANCE APPLICATION FORM

White Bear Township  
 1281 Hammond Road  
 White Bear Township, MN 55110  
 Phone 651-747-2750 Fax 651-426-2258  
[www.ci.white-bear-township.mn.us](http://www.ci.white-bear-township.mn.us)

**RECEIVED**  
 DEC 15 2017  
 BY: \_\_\_\_\_

## INTRODUCTION

Variations from the literal provisions of this Ordinance shall only be permitted when they are in harmony with the general purposes and intent of this Ordinance, and when the terms of the variance are consistent with the Comprehensive Plan. Variations may be granted when the applicant for the variance establishes that there are practical difficulties in complying with the provisions of this Ordinance. "Practical Difficulties", as used in connection with the granting of a variance, means that the property owner proposes to use the property in a reasonable manner not permitted by this Ordinance; the plight of the landowner is due to circumstances unique to the property not created by the landowner; and the variance, if granted, will not alter the essential character of the locality. Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems. Variations shall be granted for earth sheltered construction as defined in Minnesota Statutes, when in harmony with this Ordinance. No variance may be granted that would allow any use that is not allowed in the zoning district in which the subject property is located. The Town Board may impose conditions in granting a variance that are directly related to and in rough proportion to an impact created by the variance. Conditions may be imposed in the granting of variations to insure compliance and to protect adjacent properties.

\_\_\_\_\_ Fee \$225 N/C

APPLICANT(S) Nathan Landucci PHONE (Home) \_\_\_\_\_  
 (Business) \_\_\_\_\_  
 (Cell) 651-894-2582

ADDRESS 1 Bald Eagle Island  
WBT

PROPERTY OWNER Nathan Landucci

ADDRESS OF SITE 5508 W. Bald Eagle Blvd. ZONING Resid.

EXISTING USE OF SITE Garage/Resid.

DESCRIPTION OF VARIANCE REQUEST Applying for New Garage/Refuge  
space above for intermittent shelter.

SETBACKS:	<u>Required</u>	<u>Existing</u>	<u>Requested</u>
Front Yard	_____	_____	_____
Side Yard	_____	_____	_____
Side Yard	_____	_____	_____
Rear Yard	_____	_____	_____
Other (Specify)	_____	_____	_____

CHECKLIST:

- \_\_\_\_\_ Site Plan (with dimensions and to scale)
  - \_\_\_\_\_ Building locations (dwelling, garage, accessory building).
  - \_\_\_\_\_ Site improvements (fences, walks, lighting, decks, etc.).
  - \_\_\_\_\_ Yard (front, side, rear, delineating setbacks).
  - \_\_\_\_\_ Wetlands, lakes, streams, ditches including 100 year storm elevation.
- \_\_\_\_\_ Schedule (when does applicant intend to construct).
- \_\_\_\_\_ Additional information, if required.
- \_\_\_\_\_ Certificate of Survey, or full legal description.
- \_\_\_\_\_ Statements from affected (abutting) property owners. (If not provided, a public hearing will be scheduled with all property owners within 350' of your property being notified.)

REVIEW PROCESS:

1. Submit 1 copy of application and supporting information to the Township. Also submit 15 copies of all plans which exceed 11" x 17" in size. Any application must be received by the 1<sup>st</sup> Thursday of the month in which the applicant would like the Variance Board to review the proposal.
2. Variance Board \_\_\_\_\_ (Approximately one week prior to the Planning Commission Meeting, as necessary. Applicant will be notified of the time of the meeting.)
3. Planning Commission \_\_\_\_\_ (4<sup>th</sup> Thursday of the month @ 7:00 p.m. at the Town Hall).
4. Town Board \_\_\_\_\_ (3<sup>rd</sup> Monday of the following month @ 7:00 p.m. at the Town Hall).

STANDARDS:

The Town Board will approve a variance only if it satisfies the description in the INTRODUCTION on Page 1 of this form, and the following facts are established:

- \_\_\_\_\_ 1. Without a variance, applicant would be deprived of rights commonly enjoyed by others in the same district.
- \_\_\_\_\_ 2. The special circumstances do not result from actions of applicant.
- \_\_\_\_\_ 3. Granting variance will not confer on applicant any special privileges.
- \_\_\_\_\_ 4. Will not increase traffic congestion on public streets.
- \_\_\_\_\_ 5. Will not endanger public safety.
- \_\_\_\_\_ 6. Will not diminish established property value.

Applicant understands that the Variance Application fee will not be refunded if, after being submitted, the application is denied or the applicant chooses to withdraw.

It is the policy of White Bear Township that all identifiable costs associated with a Variance Application within the Township shall be the sole responsibility of the owner of said property. The costs shall include, but are not limited to the following: Township planning review costs (reports, meetings, site review); engineering review costs; legal costs (preparation of hearing notices, legal research, certification costs); publication costs (notice of hearing); reapportionment of assessments (engineers report); mailings and Ownership Reports (ownership/encumbrance).

Prior to the final approval by the Town Board, all Township expenses to date shall be paid by the owner. Subsequent expenses not paid at the time of final approval (due to billings by consultants, etc.) shall be due upon receipt of a billing from the Township.

  
\*Signature of Applicant(s)

12/15/17  
Date

\*Prior to applying for a variance it is recommended that the applicant contact Town staff in order to discuss the proposal.

<u>To Be Completed By Office:</u>	
Date Request Received <u>12/15/17</u>	<u>N/C</u>
By <u>Jay Junhardt</u> (Staff Member)	\$225.00 Fee Received <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Date Application Complete _____	



**Planning Commission Meeting  
January 25, 2018**

**Agenda Number:** 6

**Subject:** **North Oaks Company – Cambridge Downs** – Request for a Major Subdivision and Conditional Use Permit for a Planned Unit Development

**Documentation:** Staff Memo  
Major Subdivision Application  
Conditional Use Permit Application

**Action / Motion for Consideration:**

Receive Information / Discussion

## MEMORANDUM

**TO: PLANNING COMMISSION**

**FROM: TOM RIEDESEL**

**DATE: JANUARY 19, 2018**

**SUBJECT: RESIDENTIAL PROPERTY DEVELOPMENT – CAMBRIDGE DOWNS**

**REQUESTS: MAJOR SUBDIVISION  
CONDITIONAL USE PERMIT FOR A PUD**

**LOCATION: 5500 BLOCK OF CENTERVILLE ROAD**

**PROPERTY**

**OWNERS: NORTH OAKS COMPANY**

**ZONING: R-1, SUBURBAN RESIDENTIAL**

**COMP PLAN**

**DESIGNATION: RESIDENTIAL – LOW DENSITY**

The North Oaks Company has submitted a subdivision proposal for their 27.61 acre property located in the 5500 block of Centerville Road. The property is currently vacant. It is located between Centerville Road and Peterson Road, north of County Road H-2 and south of Anderson Lane.

The property is 27.61 acres in area and is approximately half wetland and half upland. The wetland portion of the property, which is primarily the northerly part of the site is 12.58 acres in area. When subtracting the wetland and existing Centerville and Peterson Road rights-of-way, the upland portion of the property is 13.01 acres in area. Since the density permitted in the zoning district allows up to 3 units per upland acre, up to 39 lots could be developed, less newly proposed roads, rights-of-way, stormwater treatment ponds and park areas.

A roadway connecting Centerville Road to Peterson Road is proposed. The new road also plans a cul-de-sac serving 10 homes. A total of 29 residential lots are proposed. A PUD is requested in order to permit reduced lot sizes, permitted by the Zoning Ordinance (with limitations).

Residential PUD's are permitted by Conditional Use Permit in the R-1 zone. A PUD has several requirements which must be followed. They include:

**7-10.1(d). LOT REQUIREMENTS.** The minimum lot area, minimum lot width, minimum front yard setback, minimum side yard setback, minimum rear yard setback, minimum percentage of green area and off-street parking space requirements shall comply with the zoning district regulations in which the Residential Planned Unit Development is proposed to be located. Departures from such regulations may be permitted where the resulting

requirements will not have an adverse effect upon the health, safety and welfare of the Town. In no event shall single family dwelling units in a Residential Planned Unit Development have a minimum lot area of less than nine thousand five hundred (9,500) square feet, a minimum lot width of less than seventy (70) feet and a minimum corner lot width of less than ninety-five (95) feet. Where departures from such regulations are permitted the average lot area shall be no less than the minimum lot area in the zoning district.

Standard minimums in the zoning district require a lot to be at least 80' wide and 12,000 square feet in area. The maximum density permitted is 3 units per upland acre.

A PUD allows minimum lot sizes to be reduced to a width of 70' and lot area of 9,500 square feet. The average lot size for a PUD is required to meet zoning requirements of the district (Average 12,000 square feet per lot). The maximum net density must not exceed 3 units per acre. The developer is proposing 31 single family lots ranging in size from 9,677 square feet to 19,671 square feet. The average lot area as proposed is 12,508 square feet.

**7-10.1(e). DENSITY.** The maximum net density of dwelling units per acre shall not be greater than the density regulation of the zoning district in which the Residential Planned Unit Development is proposed to be located.

The maximum net density permitted in the zoning district is 3 per acre. Density is defined as the maximum number of dwelling units per acre of buildable land exclusive of wetlands, drainage retention areas, floodways, lakes, streams, public parks and public or private road rights-of-way. The plan shows a future road right-of-way taking 1.8 acres of the property and .83 acres of stormwater treatment ponds. Based on these calculations, 10.34 acres of "buildable land" allows for 31 units on the property. It must be noted that no parkland has been deducted from the density. At least ½ acre of upland recreation area must be provided by the developer of a PUD. The upland recreation area must be deducted. There appears to be a total of 9.84 upland acres available for development.

**7-10.1(f). MINIMUM GREEN AREA.** A minimum of thirty-five (35%) percent of the area of a Residential Planned Unit Development having multiple family dwelling units shall be reserved for passive recreational open spaces. Areas for passive recreational open space shall be exclusive of lakes, streams, wetlands and the right-of-way of public thoroughfares. Passive recreational open space shall be located within the Residential Planned Unit Development so as to abut parks, playgrounds, trails, open spaces, lakes, streams or wetlands on adjacent properties.

This requirement is for multiple family dwelling developments and will not apply to a single family home PUD.

**7-10.1(g). RECREATIONAL AREAS.** Active recreational areas shall be provided in all Residential Planned Unit Developments. The amount of area provided for active recreational use shall be in the proportion of two (2) acres of land per one hundred (100) dwelling units. In no event shall less than one-half (1/2) acre of land be provided for active recreational use. Areas for active recreational use shall be exclusive of lakes, streams, wetlands and the right-of-way of public thoroughfares. Active recreational areas shall be provided in addition to the requirements of Section 7-10.1(f) (Minimum Green Area) and to the park land dedication requirements of Ordinance No. 15 (Subdivision Ordinance).

A 1/2 recreation area is shown on the plan. It must be noted that the Comp Plan shows a future neighborhood park in this part of the Town. While it will not likely be on this property, the 1/2 acre recreation area must be provided and shown on a development plan. The Park Board is reviewing the location of a new park in this neighborhood.

**7-10.1(h). PUBLIC UTILITIES.** All Residential Planned Unit Developments shall be served by public sanitary sewer and public water services. Utilities, such as electricity, natural gas, telephone and cable television, shall be provided to Residential Planned Unit Developments in a manner approved by the Town.

Public utilities are planned to serve the proposed development. Peterson Road is the last gravel road in Ramsey County. Most of the existing homes located on Peterson Road are not served by municipal sewer and water. When the North Oaks Company property is developed and sewer and water and a paved road is extended through the property, extending the municipal sewer, water and paving all of Peterson Road could be included with the development of this property. Affected residents would be assessed for upgrades to Peterson Road and if sewer and water is extended to additional properties.

**7-10.1(i). ACCESS.** All uses in a Residential Planned Unit Development shall abut a public street or abut a private street which has adequate access to a public street. The alignment and design of all private streets shall comply with the provisions of Ordinance No. 9 (Street Ordinance).

A 50' public right-of-way is planned for the new roads in the development.

**7-10.1(j). DRIVEWAYS.** All driveways for multiple family dwelling units in a Residential Planned Unit Development shall be provided and maintained in good repair, by the developer and the successor Homeowner's Association, in a manner approved by the Town.

Not applicable.

**7-10.1(k). STORAGE AREAS.** Screened storage areas shall be provided for each multiple family dwelling unit in a Residential Planned Unit Development. The minimum area for screened storage shall be one hundred (100) square feet per dwelling unit. The Town Board may waive the requirements for screened storage where the Homeowner's Association maintains and enforces restrictive covenants upon the property. Such restrictive covenants shall prohibit the exterior storage of building materials, boats, recreational vehicles, snowmobiles and other similar personal property, except in a screened storage area approved by the Town Board. Also, the Residential Planned Unit Development shall reserve an area adequate for providing the necessary screened storage pursuant to the requirements of this section.

Not applicable.

**7-10.1(l). ENVIRONMENTAL DESIGN.** An environmental design preserving the natural amenities of the existing landscape as well as providing for landscape buffering as to adjacent properties shall be incorporated into all Residential Planned Unit Developments.

A Landscaping Plan has been provided showing landscaping along the southerly lot line. Existing trees at the southeast and southwest corners of the property are proposed to be saved.

**7-10.1(m). ARCHITECTURAL DESIGN.** The architectural design of all structures in a Residential Planned Unit Development shall be compatible with one another and with structures located on adjacent properties.

**7-10.1(n). NO VARIANCES.** Notwithstanding the provisions of Section 8-6 (Variances), no variances shall be granted to the site plan and building plan designs of an approved Planned Unit Development.

The proposed development consists of single family homes on lots permitted in a Planned Unit Development. The tradeoff for allowing undersized lots is to design a development which avoids destruction of natural features such as trees and wetlands. In addition, recreation land must be provided plus any park dedication requirements approved by the Town.

The proposed lots are 70' wide with lot areas ranging from 9,677 square feet to 19,671 square feet in area. Separation between buildings is proposed to be 20'.

The Town has also allowed PUD's using a small lot design with common space surrounding the small lot. Developments approved using this design were required to

The Town has also allowed PUD's using a small lot design with common space surrounding the small lot. Developments approved using this design were required to have a 20' minimum spacing between buildings. These types of developments were not allowed to exceed the density requirements of the zoning district.

A sketch plan concept was reviewed by the Planning Commission at the November meeting. One neighborhood meeting was held prior to the Planning Commission meeting.

The development proposal appears to be a good fit for this property as the development proposes an access to Centerville Road as part of the development. Most of the traffic generated from the development will access the property from Centerville Road. Some will utilize Peterson Road also. The development is proposed to be marketed towards "empty nesters". As a result, the average trips per day will be less than would be created by a single family home development marketed towards families.

The area around the proposed development is still relatively rural. Several homes near the site are not served by municipal sewer and water. With the increase in traffic on Peterson Road, upgrading this road so it is paved and has curb and gutter is recommended. The Town must determine how much of Peterson Road should be improved. Neighborhood input/interest in improving municipal sewer/water and road, and the cost to residents to do this must be determined.

The Town's Comprehensive Plan also shows a future park in the neighborhood. The Park Board has reviewed the proposal and has recommended that the development pay a park dedication fee rather than provide land for a park. The Park Board has also recommended that staff contract the owner of the property at 5566 Peterson Road for possible purchase in order to develop as a neighborhood park.

TR/psw  
cc:admin/add.file  
b:northoakspeterson



Building a Better World  
for All of Us®

## MEMORANDUM

TO: Tom Riedesel, Planner - White Bear Township  
Eric Johnson, EIT – Sathre-Bergquist, Inc.

FROM: Rebecca Nestingen, PE, CFM - SEH

DATE: January 19, 2018

RE: Cambridge Downs Stormwater Review

### BACKGROUND

At your request, we have reviewed the proposed development plan for Cambridge Downs to identify any water resources and/or stormwater management issues or concerns that should be considered for the preliminary development plan. The proposed plan consists of a 12.3 acre residential development, one infiltration basin, two wet detention ponds and a storm sewer drainage system. The site is located between Centerville Road and Peterson Road near County Road H2 E in White Bear Township, Minnesota.

### STORMWATER MANAGEMENT

The Township's Local Water Management Plan has adopted the policies of the Vadnais Lake Area Watershed Management Organization (VLAWMO) and requires compliance with their policies for stormwater management. In addition to local regulations, the project must be in compliance with the Minnesota Pollution Control Agency's NPDES Construction Stormwater Permit and the Township's Ordinance No. 87 Stormwater Management. The following criteria are applicable to the proposed project:

- **Rate Control.** The proposed project shall not increase the peak stormwater runoff rate from the site for the 2, 10, and 100-yr, 24-hr precipitation design events.
- **Volume Retention.** The MPCA requires a water quality volume (WQV) of one inch of runoff from the new impervious surfaces created by the project to be retained onsite. VLAWMO and White Bear Township requires onsite retention of 1.1 inches of runoff from the new and/or fully reconstructed impervious.
- **Water Quality.** For those projects where infiltration is prohibited other methods of volume retention shall be considered and the WQV must be treated by a wet sedimentation basin, filtration system, regional ponding or equivalent methods. White Bear Township requires design practices for new construction to provide an 80% sediment reduction from a one-year, 24-hour storm event.
- **Freeboard.** White Bear Township requires a minimum of 3 feet of freeboard above the 100-year, 24-hour storm event of water bodies or graded areas that create ponded conditions with a piped outlet to the low opening elevation of a structure. In consideration of the groundwater table, the low floor and low opening elevation of structures should be four feet above the normal groundwater elevation.

The proposed project will create an impervious area of approximately 3 acres and includes the construction of two wet detention basins and one infiltration basin to provide the required stormwater management. A plan layout and stormwater management plan was submitted by AE2S and reviewed for

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 3535 Vadnais Center Drive, St. Paul, MN 55110-5196

SEH is 100% employee-owned | [sehinc.com](http://sehinc.com) | 651.490.2000 | 800.325.2055 | 888.908.8166 fax

compliance with the applicable criteria. The proposed project may meet the rate control criteria based on the HydroCAD® model submitted, however, the following corrections should be made:

- The CN used for the existing conditions pervious area should be less than or equivalent to the CN used for the proposed conditions pervious areas.
- The time of concentration for the proposed conditions sub-catchments should be calculated with TR-55 methodology. The average Tc value of 20 minutes assumed for urban drainage in the proposed conditions seems high for a sheet flow distance of approximately 30 feet.

To meet the volume retention and water quality criteria, one infiltration basin and a filtration bench around the wet detention basin 1 is proposed. The water quality volume required for the proposed new impervious surface is 11,860 cubic feet (cf). In the stormwater management plan report submitted the water quality volume of the filtration bench and infiltration basin are 6,723 cf and 7,186 cf, respectively, for a total of 13,909 cf. However, the tabulated water quality volume in the report does not correctly coincide with the modeled infiltration basin which has a low outlet 1.5 feet above the basin bottom for a water quality volume of 4,970 cf as opposed to 7,186 cf. A revised total water quality volume of 11,693 cf does not meet the required water quality volume.

An assumed infiltration rate of 1.0 inches/hour was used for the analysis; however, upon evaluation of soil boring B-8, which is the closest boring to the infiltration basin, the soil texture encountered at the bottom elevation of the infiltration basin is sand with silt (SP-SM). Based on the Minnesota Stormwater Manual, the recommended design infiltration rates are 0.45 to 0.80 inches per hour for SM and SP soil textures. A maximum 48 hour drawdown time from the high water level to the bottom of the basin with the revised design infiltration rates should be demonstrated.

The bottom of the infiltration basin is at an elevation of 909.0', which is required to be more than 3' above the reported ground water elevation of 905.9', however, soil boring B-8 indicated ground water very close to the surface at an elevation of approximately 919'. Based on the soil boring information provided and the adjacent wetland starting at an elevation of roughly 908', the infiltration basin is not expected to maintain a minimum required 3' separation between the bottom of the practice at elevation 909.0' and the seasonally high groundwater elevation.

If meeting the water quality volume through volume retention is not feasible due to site constrains, the site must provide design practices with an 80% sediment reduction from a one-year, 24-hour storm event. The stormwater management report provided a total phosphorus (TP) load reduction of 77%, however, this was on an annual basis and for TP as opposed to sediment (TSS). The designer should check the TSS reduction for the one-year, 24-hour design event and submit the corresponding P8 model input parameters and results for review. For VLAWMO and the NPDES permit compliance the WQV of the wet detention basins provided must demonstrate a maximum discharge rate of 5.66 cfs/acre of pond surface area and a permanent pool volume of 1800 cf/acre of contributing drainage area.

According to the Township's Ordinance No. 87 – Stormwater Management, new structures lowest floor and low opening elevation must be at least 3' above the 100-year 24-hour basin elevation. The low floor/low opening must also be 4' above the normal groundwater elevation. Currently there are numerous proposed structures which do not satisfy the 4' separation from the normal groundwater elevation (based on soil borings provided). Structures around wet detention basin 2, as well as pond 1 inlet and pond 2 inlet do not satisfy the 3' freeboard requirements.

#### **CONTROL OF EROSION AND SEDIMENTATION**

The stormwater management plan submitted does not include and measures for temporary erosion and sediment control. A stormwater pollution prevention plan (SWPPP) and NPDES permit is required for this project.

#### **RECOMMENDATIONS**

It is recommended that the proposed project not be approved until hydrologic model corrections are made confirming rate control is satisfied, the water quality volume/sediment reduction is demonstrated and basins/structure elevations are modified such that the freeboard is achieved.

rsn

s:\uz\wwhbrt\common\reviews\lake animal hospital\reviewmemo061217.docx



444 Cedar Street, Suite 1500  
Saint Paul, MN 55101  
651.292.4400  
tkda.com

January 19, 2018

Planning Commission  
White Bear Township, Minnesota 55391

Re: Cambridge Downs  
Development Review  
White Bear Township, Minnesota  
TKDA Project No. 16627.001

Dear Commission Members:

We have completed a review of the Cambridge Downs project plans, and have the following comments:

#### **Documents Reviewed**

1. Preliminary Plat, undated.
2. Preliminary Plans, dated January 3, 2017.
3. Preliminary Report of Geotechnical Exploration, dated January 4, 2018.
4. Stormwater Management Plan, dated January 11, 2018.
5. Wetland Delineation Report, dated September 22, 2014

#### **Plat**

The Preliminary Plat contains 29 parcels and one Outlot. The Outlot contains a DNR protected wetland. The proposed roadway is situated in a 50-foot Right-of-Way, with a 120-foot diameter Right-of-Way for the proposed cul-de-sac. Drainage and Utility easements are provided on all lots. Two stormwater ponds, and infiltration basin, and drainage swales are located within Drainage and Utility easements.

Typical drainage and utility easements adjacent to the proposed streets are 10-feet. Since the proposed Right-of-Way is 50-feet, these easements must be 15-feet.

A 0.50 acre park area in the Outlot is shown on the Preliminary Plans. No other details are included. The Township must confirm park property and its location will be used for this project.

Many of the proposed parcels extend into the delineated wetland. In a couple of cases, the lots are over 50% wetland, or close to 75% combined between wetland and ponding easements. The Township will evaluate the benefits of this layout.

The proposed Right-of-Way of Peterson Road encroaches on the wetland and setback at the north end of the project.

### **Streets and Access**

Access will be off of Centerville Road, about 850-feet north of County Road H2, and connect with Peterson Road. 400-feet of the existing gravel Peterson Road will be reconstructed 32-feet wide from back of curb to back of curb. A 400-foot long street ending in a cul-de-sac will run north from the main east-west street.

Proposed streets are 32-feet from back of curb to back of curb. The proposed cul-de-sac has a 100-foot diameter from back of curb to back of curb. Proposed grades vary between 1.0% and 5.4%. No sidewalks or trails are proposed.

### **Stormwater Management**

Vadnais Lake Area Water management Organization (VLAWMO) review will be required.

Pipe is proposed to run along Centerville Road Right-of-Way, which will require Ramsey County approval.

The site has an increase in impervious area but will be properly addressed with proposed site improvements.

No profiles for the proposed stormwater system have been provided.

No planting or maintenance information for the proposed infiltration basin 1 and infiltration shelf for Pond 1 has been provided. Confirmation is necessary regarding the Township's Public Works Department will be maintaining them in the future. Currently, the Township doesn't have any existing infiltration structures of this size or complexity.

Stormwater will be collected via catch basin and flared end section and routed to three proposed stormwater ponds located in drainage and utility treatments throughout the site. Two of the ponds are stormwater treatment ponds and the third is an infiltration basin. All three ponds overflow into the wetland in the Outlot.

Verify that catch basins are placed at low points throughout the project.

Verify that flared end section elevations and slopes are correct. One line shows over 5000% grade.

Evaluate flow velocities at discharge points. Several of the slopes on runs leading to flared end sections appear to be steep.

A couple of the catch basins have builds of about 3.5 feet, and should be increased.

Verify that the proposed drainage and utility easements between lots are wide enough to provide access for maintenance of storm sewer running through them. Pond 1 and Infiltration Basin 1 access must be improved for maintenance purposes. A designated unhindered (no fences, buildings of landscape improvements) Drainage and Utility easement should be allowed between lots of the accessible routes for the maintenance.

No Drainage and Utility easements between Lots 11 and 12, Block 2.



### **Grading**

The grading plan proposes building up the housepads, using existing material from the site. Material will come from excavation of the ponds, swales and road subgrade.

The lots in Block 1 (south of the east-west main road) slope to the south into Drainage and Utility easements, then into swales running east-west along the southern border of the development. The swales appear to be about 2%-grade. The swales empty into inlet structures that carry runoff across to the stormwater treatment ponds. The lots in Block 2 (north of the east-west main road) slope down into the wetland in Outlot A.

The geotechnical report shows most material onsite is suitable for grading operations. Groundwater was observed in seven of eight borings done on the site.

There are four different retaining walls within the development. Confirm who will be responsible for the future maintenance/repair of the walls. The retaining wall on the east side of the cul-de-sac which appears to be 6-8 feet in height must be determined. It looks as though some type of barrier should be placed on the Right-Of-Way to protect vehicles/pedestrians. The wall is also in the 20' setback (buffer) so maintenance will most likely have that area from the top of the wall and between the streets mowed.

Confirm the berm around Infiltration Basin 1 will provide the access needed in the future to maintain the outlet pipe structure. The area should have at least a 12-foot flat top.

### **Water System**

There are existing 16" watermain stubs along Centerville Road north and south of the Development site. Project must connect the stubs to finish the loop along Centerville Road, and connect along Peterson Road south to the existing watermain at County Road H2. This connection is not shown on the Preliminary Plans.

The watermain must loop into and out of the cul-de-sac.

No profile for the proposed water system has been provided.

Place temporary hydrant at end of each watermain stub to enable flushing and testing.

Verify gate valve locations provide adequate shutdowns of lines.

There will be a local Water Availability Charge (WAC) for the project.

### **Sanitary Sewer**

The invert of MH 1 is 900.9, which are 2-feet lower than the stub invert of 902.9 shown on the record drawings. Since the mainline sewer throughout the project runs just above minimum grade, that would affect the entire mainline sanitary sewer.

No profile for the proposed sanitary sewer system has been provided.



Cambridge Downs  
Development Review  
January 19, 2018  
Page 4

Evaluate adequacy of proposed easement along west side of Lot 1, Block 1. The edge of the easement lies about 25-feet from the sanitary sewer, which is between 25 – 30 feet deep in this stretch.

A sewer stub shall be provided between the proposed lots to service the area south of the development.

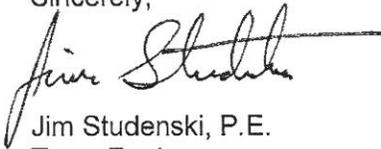
Design the sanitary services so they are downstream of the water services for each lot.

Verify sanitary stub slope on Peterson Road. The grade shown is 130%.

There will be a local Sewer Availability Charge (SAC) and a SAC from MCES.

Please contact me at (651) 292-4503 with any questions.

Sincerely,



Jim Studenski, P.E.  
Town Engineer

cc: Tom Riedesel, Town Planner  
Dale Reed, Public Works Director



## Technical Memorandum

**To:** Gary Eagles, Vice President Development  
**From:** Bryant Ficek, PE, PTOE  
**Date:** January 9, 2018  
**Re:** Traffic Assessment Proposal – Cambridge Downs Senior Housing

---

The Cambridge Downs residential development is proposed to provide 31 new units on approximately 27 acres of open space and wetlands. The purpose of this memorandum is to assess the traffic impacts of the proposed development. Specifically, we examined the traffic along the Centerville Road and Peterson Road corridor, spacing guidelines, and the need for turn lanes at the proposed access intersections.

### Conclusions

Based on the information and analysis presented herein, the following conclusions are drawn:

- The proposed Cambridge Downs Senior Housing development is expected to generate a total of 202 vehicle trips daily with 17 trips during the a.m. peak hour and 20 trips during the p.m. peak hour. Most of this traffic is expected to head to/from the south using Centerville Road.
- This trip generation is less than the MnDOT's threshold for a more detailed traffic impact study of the development.
- The access spacing on Centerville Road for the proposed Development Street is less than desired, but sufficient given the specific characteristics of the site and intersection.
- The expected trip generation satisfies the MnDOT criteria for an exclusive northbound right turn lane on Centerville Road.
- Centerville Road is expected to have a sidewalk or trail in the future, which would provide an alternative method of travel via walking or biking.

We recommend a northbound right turn lane on Centerville Road at the proposed Development Street intersection. The design could match that provide to Anderson Lane (just north of this site) with an approximately 180-foot taper and 150-foot turn lane.

We also recommend sidewalks be considered for the development or potentially planned for a future date to coincide with the sidewalk or trail on Centerville Road to allow for more travel options.

### Existing and Build Conditions

The development site is located in between Centerville Road and Peterson Road, north of County Road H2 East in North Oaks, Minnesota. The site is currently undeveloped and zoned for future residential land use.

Centerville Road is a two-lane, north south minor arterial roadway, providing access to Highway 96. Also known as County State-Aid Highway (CSAH) 59, Centerville Road is an A-Minor Arterial. The posted speed limit is 50 mph.

Peterson Road is a two-lane, north south private roadway, providing access to County Road H2. The speed limit is not posted.

The existing Average Daily Traffic (ADT) counts for Centerville Road were collected from the MnDOT’s Traffic Mapping Application Tool to determine the daily traffic load along the access corridors. Table 1, below, shows the existing Average Daily Traffic (ADT) volumes.

**Table 1 – Existing Roadway ADTs**

Corridor	ADT
Centerville Road, North of County Road H2	5,700 vehicles per day
Peterson Road	100 vehicles per day*

\*ADT estimate based on the number of houses served, no traffic data available.

Based on the concept plan, which can also be found in the appendix, the development is proposed to provide 31 new housing units. These homes will be marketed as senior housing to age 55 and older. A trip generation analysis was performed based on the methodology and rates published in the *Institute of Transportation Engineers (ITE) Trip Generation Manual, 10<sup>th</sup> Edition* and is shown in Table 2.

**Table 2 – Trip Generation for 31 Homes**

Land Use Code	Description & Size	AM Peak Hour		PM Peak Hour		Daily Total	
		Total In	Total Out	Total In	Total Out	Total In	Total Out
251	Senior Adult Housing - Detached	6	11	12	8	101	101

As shown, expected traffic during the a.m. and p.m. peak hours is 17 and 20 vehicles, respectively. The expected daily traffic is about 200 vehicles per day.

The new site generated trips were then distributed to Centerville Road and Peterson Road, based on the existing ADTs as well as access to major roadways, to determine approximate volumes at Centerville Road/Development Street and Peterson Road/Development Street intersections. The resulting trip distribution determined is:

- i. 20 percent of the site generated traffic to/from the north on Centerville Road.
- ii. 70 percent of the site generated traffic to/from the south on Centerville Road.
- iii. 10 percent of the site generated traffic to/from the south on Peterson Road.

Based on this distribution, the Development Street intersection with Centerville Road will have the bulk of the traffic, with approximately 180 vehicles turning in or out of the development over the course of an

average weekday. The Development Street intersection with Peterson Road would have approximately 20 vehicles turning in or out of the development during an average weekday.

### **Traffic Impact Study Need**

Traffic Impact Studies (TIS) provide an assessment of existing and future traffic operations to identify the impacts of a proposed development. A TIS can identify capacity deficiencies at key intersections and potential mitigation to avoid safety or operational problems due to expected traffic from a proposed development. However, a TIS is not always necessary. As defined by MnDOT, developments estimated to generate less than 250 peak hour trips or 2,500 daily trips do not generate significant traffic volumes to warrant traffic impact studies.

As presented in the trip generation, this proposed development will have significantly less than these thresholds for a TIS. A more detailed study is not needed.

Similarly, the relatively low volumes suggest side-street stop control is sufficient for the new intersections, particularly the new Development Street intersection with Centerville Road. With few turning movements during an average day or peak hour, improved traffic control like all-way stop, traffic signal, or roundabout control is not needed.

### **Access Spacing Requirements**

Access management is a process to minimize intersections on a corridor, which maximizes safety and capacity. A strong correlation has been proven between excessive access and crash risk. For this proposed development, access spacing is important for Centerville Road, a Minor Arterial. Using the MnDOT Access Management Manual, we reviewed the guidance for intersection access spacing.

Centerville Road can be considered in category 5B – Minor Arterial in Urban/Urbanizing area. Under this category, full access intersections should be spaced 1/4-mile apart. A secondary, limited access can be spaced at 1/8-mile.

Currently, the spacing between the County Road H2 and Anderson Lane intersections with Centerville Road is about 2,150 feet. The new Development Street is planned at a distance approximately 850 feet from County Road H2 and about 1,300 feet from Anderson Lane. Although less than desired from either existing intersection, this location is expected to provide acceptable operations at these spacings due to:

- The relatively low volume of vehicles expected to be generated by the development, particularly during the peak hours.
- The T-intersection layout of the proposed intersection creates less conflicting movements at the intersection.
- Features of the proposed property includes wetlands, which preclude moving the access farther north to a more balanced spaced spot.
- Sight distance appears sufficient as Centerville Road is straight and relatively flat.

These characteristics are expected to remain the same into the future and reduce any concern of the proposed access location based on general spacing guidelines.

### **Turn Treatment Warrant Evaluation**

The *MnDOT Access Management Manual* is a document that provides guidance for exclusive turn lanes and bypass lanes at public street connections in accordance with the *MnDOT Road Design Manual*. The purpose of this document is to assist with access management for highways, which have different

characteristics than Centerville Road and Peterson Road. However, if the criteria for turn lanes is not satisfied for a highway, then it can be assumed turn lanes would not be warranted for lower functional types of roadways.

Nine warrants are presented that account for site conditions and expected traffic to evaluate the need for turn lanes. Each warrant is examined separately below and the MnDOT guide's text is attached to this memorandum for reference.

**Warrant 1 – Passing Lane/Climbing Lane**

Neither road has passing or climbing lanes within the project area.

**Warrant 2 – Limited Sight Distance/Terrain**

Although the sight distance was not evaluated on-site at each proposed access, Centerville Road in this area is straight and relatively flat. All turning movements appear to have sufficient sight distance, with no noticeable obstructions or sight issues.

**Warrant 3 – Railroad Crossings**

The proposed site intersections do not have a railroad crossing in the vicinity that would require turn lanes.

**Warrant 4 – Signalized Intersections**

The proposed site intersections will be controlled by stop signs on the side street, not a traffic signal. Therefore, turn lane treatments are not necessary due to the type of intersection control.

**Warrant 5 – Heavy-Vehicle Traffic**

Based on the proposed residential land use, the expected heavy-vehicle turning traffic is expected to stay well below the 15 or more vehicles per hour threshold. Truck traffic related to the proposed development is expected to be low and related to moving trucks, garbage trucks, and delivery vehicles. The relatively low truck traffic associated with these land uses does not warrant turn lanes.

**Warrant 6 – School Entrances**

The proposed connection is not a school entrance that would necessitate turn lanes.

**Warrant 7 – Crash History**

As the proposed intersection with Centerville Road does not yet exist, there are no correctable crashes at these locations.

**Warrant 8 – Corridor Crash Experience**

According to recorded crash data provided by MnDOT, there is no pattern of similar crash types suitable for correction by adding turn-lane treatments. Therefore, the Centerville Road corridor in this area does not have a crash experience that would necessitate a system-wide treatment with turn lanes.

**Warrant 9 – Vehicular Volume**

The table below provides the relevant volume criteria from Figure 3.40 of the MnDOT guide that, if satisfied, would warrant left turn treatment:

**MnDOT Access Management Manual Figure 3.40: Warrant 9 for Left-Turn Lanes**

2-Lane Highway AADT	Cross Street or Driveway ADT	Turn Lane Requirement
5,000 – 6,499	> 800	Left-turn lane warranted
≥6,500	>400 (101 to 400)	Left-turn lane warranted Left-turn lane or bypass lane

The relevant criteria from Figure 3.41 of the MnDOT guide is provided in the following table that, if satisfied, would warrant right turn treatment:

**MnDOT Access Management Manual Figure 3.41: Warrant 9 for Right-Turn Lanes**

2-Lane Highway AADT	Cross Street or Driveway ADT	Turn Lane Requirement
>1,500	> 100	Right-turn lane warranted

Using the trip generation from Table 2, the expected trip distribution patterns, and the criteria for Warrant 9, Table 3 summarizes the results of the Warrant 9 evaluation.

**Table 3 – Turn Lane Warrant 9 Evaluation**

Intersection	Left Turn Lane		Right Turn Lane	
	Street ADT	Access ADT	Street ADT	Access ADT
Centerville Road at Street A	5,850	180	5,850	180
Criteria	5,000 – 6,499 -or- ≥6,500	> 1,000 -or- >400 (101 to 400)*	> 1,500	> 100

Notes: \*Volume threshold warrants for Left-turn or (bypass lane)

Based on these results, left turn treatment is not warranted while right turn treatment is recommended for the site access onto Centerville Road. Intuitively, a right turn lane is appropriate as most traffic into the proposed development will be a northbound right turn.

**Multi-Modal Facilities**

Multi-Modal opportunities in this location are few as there are presently no sidewalks or designated bicycle lanes on the roads surrounding the site. Similarly, no bus routes or stops are present in the immediate area around the proposed site. In the future, a sidewalk or trail is expected on Centerville Road.

Based on the future expectation of a pedestrian/bicycle facility on Centerville Road that would provide connections to other facilities, like Birch Lake trail and Highway 96 regional trails, sidewalks could be considered for this proposed residential development. Sidewalks would provide a safe connection for pedestrians and bicyclists and an alternative to driving.

**Appendix**

- A. Concept Plan



# MAJOR SUBDIVISION APPLICATION FORM

RECEIVED  
JAN 04 2018  
TOWN OF WHITE BEAR

## INTRODUCTION

A major subdivision is a division of one parcel into 3 or more lots whether fronting on existing or requiring creation of any new street or road; whether utilizing existing or requiring the extension of municipal facilities or public improvements, in accordance with Ordinance No. 15 (Subdivision).

APPLICANT(S) North Oaks Company, LLC PHONE (Home) \_\_\_\_\_  
\_\_\_\_\_  
(Business) 651-484-3361  
(Cell) \_\_\_\_\_

ADDRESS 5959 Centerville Road, Suite 200  
North Oaks, MN 55127

PROPERTY OWNER North Oaks Company, LLC

NAME OF SUBDIVISION Cambridge Downs ZONING R-1 Sub Res

FULL LEGAL DESCRIPTION PIN 043022430024  
PIN 093022120020

EXISTING USE OF SITE Open Space

x 3,000 Fee (\$110.00 plus \$100.00/Per Unit - \$3,000 maximum)

It is the policy of White Bear Township that all identifiable costs associated with Major Subdivisions within the Township shall be the sole responsibility of the owner of said property. The costs shall include, but are not limited to the following: Township planning review costs (reports, meetings, site review); engineering review costs; legal costs (preparation of hearing notices, legal research, certification costs); publication costs (notice of hearing); reapportionment of assessments (engineers report); mailings and Ownership Reports (ownership/encumbrance).

Prior to the final approval by the Town Board, all Township expenses to date shall be paid by the owner. Subsequent expenses not paid at the time of final approval (due to billings by consultants, etc.); shall be due upon receipt of a billing from the Township.

Thomas A Dougherty

Signature of Applicant(s)

1/4/2014

Date

To Be Completed By Office:

Date Request Received 1/4/18

ck# 11925

By Karen  
(Staff Member)

\$110.00 Fee + \$100/per unit-\$3,000 maximum

Yes  
 No

Date Application Complete \_\_\_\_\_



RECEIVED

JAN 05 2018

TOWN OF WHITE BEAR

# CONDITIONAL USE PERMIT APPLICATION FORM

## INTRODUCTION

A Conditional Use Permit may be granted or denied by the Town Board after recommendation by the Planning Commission in accordance with Ordinance No. 35 (Zoning), Section 9-4, Conditional Use Permit Procedure.

APPLICANT(S) North Oaks Company, LLC PHONE (Home) \_\_\_\_\_  
\_\_\_\_\_  
(Business) 651-484-3361  
(Cell) \_\_\_\_\_

ADDRESS 5959 Centerville Road, Suite 200  
North Oaks, MN 55127

PROPERTY OWNER North Oaks Company, LLC

ADDRESS OF SITE Cambridge Downs ZONING R-1

EXISTING USE OF SITE Vacant Land

DESCRIPTION OF CONDITIONAL USE BEING REQUESTED  
PUD  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

275.00 Fee (\$75.00 plus \$200.00 Expense Deposit)

## CHECKLIST:

<p>_____ Site Plan</p> <p>_____ N/A</p> <p>_____ Attached</p> <p>_____ Attached</p> <p>_____ Attached</p> <p>_____ Attached</p> <p>_____ Attached</p> <p>_____ Attached</p>	<p>Building locations (dwelling, garage, accessory building).</p> <p>Site improvements (parking areas, drives, sidewalks, fences, decks, lighting, etc.).</p> <p>Yard (front, side, rear setbacks).</p> <p>Wetlands (delineation of streams, water bodies, wetlands &amp; 100 year storm elevation).</p> <p>Existing trees (6 inch in diameter or more), large shrubs &amp; proposed landscaping.</p> <p>Location of site, with adjacent land use.</p> <p>Topography, grading.</p>
---	--

2018

Pending

Attached

Schedule (when applicant intends to construct)

Additional information, if required.

Permits or written comments from other agencies (DNR, RCWD, VLAWMO, Ramsey County, MNDot, US Army Corps of Engineers.

Certificate of Survey, or full legal description

Building plans (size, intended use of structures, exterior finishes, floor plans and elevations).

REVIEW PROCESS:

1. Submit 15 copies of application and all supporting information to Town Planner (minimum of 3 weeks prior to Planning Commission Meeting).
2. Planning Commission \_\_\_\_\_ (4<sup>th</sup> Thursday of the month @ 7:00 p.m. at the Town Hall).
3. Town Board \_\_\_\_\_ (1<sup>st</sup> Monday of the following month @ 7:00 p.m. (Call Public Hearing) at the Town Hall).
4. Town Board \_\_\_\_\_ Public Hearing
5. Town Board \_\_\_\_\_  
(Action subject to Public Hearing Schedule)

STANDARDS:

The Town Board will approve a Conditional Use Permit only if the following facts are established:

- \_\_\_\_\_ 1. There will be no detracton from the appearance of adjacent properties, or Town as a whole.
- \_\_\_\_\_ 2. There will not be aesthetic incompatibility.
- \_\_\_\_\_ 3. There will not be aural incompatibility (noise).
- \_\_\_\_\_ 4. There will not be damage to vegetation.
- \_\_\_\_\_ 5. Traffic patterns will not be negatively affected.
- \_\_\_\_\_ 6. There is no unnecessary loss of existing natural features.
- \_\_\_\_\_ 7. Will not cause soil erosion.
- \_\_\_\_\_ 8. Will not increase flood potential.
- \_\_\_\_\_ 9. The proposal is consistent with Comprehensive Plan and complies with other Ordinances.

It is the policy of White Bear Township that all identifiable costs associated with Conditional Use Permits within the Township shall be the sole responsibility of the owner of said property. The costs shall include, but are not limited to the following: Township planning review costs (reports, meetings, site review); engineering review costs; legal costs (preparation of hearing notices, legal research, certification costs); publication costs (notice of hearing); reapportionment of assessments (engineers report); mailings and Ownership Reports (ownership/encumbrance).

Prior to the final approval by the Town Board, all Township expenses to date shall be paid by the owner. Subsequent expenses not paid at the time of final approval (due to billings by consultants, etc.) shall be due upon receipt of a billing from the Township.

[Handwritten Signature]  
Signature of Applicant(s)

1/5/18  
Date

<u>To Be Completed By Office:</u>		<u>Ck # 11926</u>
Date Request Received	<u>Karen Edson</u>	
By <u>1/5/18</u> (Staff Member)	\$75.00 Fee + \$200 Deposit Received	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Date Application Complete	_____	



**Planning Commission Meeting  
January 25, 2018**

**Agenda Number:** 7

**Subject:** Capra's Utilities, Inc. – 2320 Leibel Street –Request for Permitted Use Standards Permit to Allow Construction of a 18,900 Square Foot Office/Warehouse Building

**Documentation:** Staff Memo  
Permitted Use Standards Permit Application

**Action / Motion for Consideration:**

Receive Information / Discussion



444 Cedar Street, Suite 1500  
Saint Paul, MN 55101  
651.292.4400  
tkda.com

January 19, 2018

Planning Commission  
White Bear Township, Minnesota

Re: Capra Properties, LLC  
Capra Site Improvements Development Review  
White Bear Township, Minnesota  
TKDA Project No. 16627.001

Dear Commission Members:

We have completed a review of the Capra Site Improvements project plans, and have the following comments:

**Documents Reviewed**

1. Preliminary Plans, dated January 4, 2018.  
- NOTE: Plans appear to have been updated since this date.
2. Stormwater Management Plan, dated January 8, 2018.
3. Parcel Sketch and Description, dated September 30, 2014

The following items must be addressed:

**General:**

1. Please provide a copy of the project specifications.
2. Final erosion control and stormwater treatment approval subject to Rice Creek Watershed District (RCWD). Plans submitted to RCWD on January 18<sup>th</sup>.
3. Drainage and utility easements must be provided over all stormwater treatment areas, wetlands, and 10-feet from all property lines.
4. Calculations for domestic and fire service must be provided. There will be a local Water Availability Charge (WAC) for the project.
5. Calculations for sewer service must be provided. There will be a local Sewer Availability Charge (SAC) and a SAC from MCES.
6. Provide documentation for combining the lots if that has been determined.

**Stormwater Management Report:**

1. Update report to separate Existing and Proposed areas, specifically total runoff area on page 3.
2. Area summaries in the drainage report are inconsistent with sheet C3.2.

Capra Site Improvements  
Development Review  
January 19, 2018  
Page 2

**Sheet C1:**

1. Show turf restoration type and location.
2. Specify Enkamat product that will be used to stabilize overflow.

**Sheet C2:**

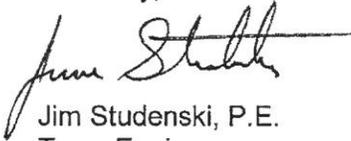
1. Define sanitary sewer and watermain connections to the main lines.

**Sheet L1:**

1. Provide Tree and shrub species.

Please contact me at (651) 292-4503 with any questions.

Sincerely,



Jim Studenski, P.E.  
Town Engineer

cc: Tom Riedesel, Town Planner  
Dale Reed, Public Works Director





Building a Better World  
for All of Us®

## MEMORANDUM

TO: Tom Riedesel, Planner - White Bear Township  
Steven Gebauer, PE – AMI Consulting Engineers, PA

FROM: Rebecca Nestingen, PE, CFM - SEH

DATE: January 16, 2018

RE: Capra Properties Stormwater Review

### BACKGROUND

At your request, we have reviewed the proposed development plan for Capra Properties, LLC at 2320 Leibel Street in White Bear Township, Minnesota to identify any water resources and/or stormwater management issues or concerns that should be considered for the preliminary development plan. The proposed plan consists of constructing a utility storage building, bituminous parking, and connection onto Leibel Street from the 2.13 acre property.

### STORMWATER MANAGMENT

The Township's Local Water Management Plan has adopted the standards of the Rice Creek Watershed District (RCWD) and requires compliance with their rules for stormwater management. In addition to local regulations the project must be in compliance with the Minnesota Pollution Control Agency's NPDES Construction Stormwater Permit. The following criteria are applicable to the proposed project:

- **Rate Control.** The proposed project shall not increase the peak stormwater runoff rate from the site for the 2, 10, and 100-yr, 24-hr precipitation design events.
- **Volume Retention.** The MPCA requires a water quality volume (WQV) of one inch of runoff from the new impervious surfaces created by the project to be retained onsite. RCWD and White Bear Township requires onsite retention of 1.1 inches of runoff from the new and/or fully reconstructed impervious.
- **Water Quality.** For those projects where infiltration is prohibited other methods of volume retention shall be considered and the WQV must be treated by a wet sedimentation basin, filtration system, regional ponding or equivalent methods. BMPs which do not reduce runoff volume shall apply a TP removal factor to the WQV proposed to satisfy the equivalent volume retention WQV per RCWD standards. RCWD also requires 2.5" of dead storage for wet detention ponds. White Bear Township requires design practices for new construction to provide an 80% sediment reduction from a one-year, 24-hour storm event.
- **Freeboard.** White Bear Township requires a minimum of 3 feet of freeboard above the 100-year, 24-hour storm event of water bodies or graded areas that create ponded conditions with a piped outlet to the low opening elevation of a structure. In consideration of the groundwater table, the low floor and low opening elevation of structures should be four feet above the normal groundwater elevation. RCWD requires 2.0' of freeboard between the 100-year high water elevation and low entry and 1.0' of freeboard between the EOF and low entry.

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 3535 Vadnais Center Drive, St. Paul, MN 55110-5196

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The proposed project will create a net new impervious area of approximately 1.8 acres and includes the construction of a two filtration basins to provide the required stormwater management. The existing site also utilizes two wet sedimentation basins, one of which will remain and one which will be removed and converted into a bituminous area.

A plan layout and stormwater management plan was submitted by AMI Consulting Engineers and reviewed for compliance with the applicable criteria. The proposed project appears to meet the rate control criteria, however, there are numerous technical errors in the HydroCAD® model used to estimate the peak discharge rates. The following model/documentation errors should be corrected:

- Peak flow rates are summed in the report tables but the peak rates do not occur at the same time in the hydrograph so it is inaccurate to provide a total project flow rate utilizing this methodology. To compare the peak rates leaving the site from existing and proposed conditions a composite hydrograph of the discharge points should be used (i.e. use a link in HydroCAD to sum the hydrographs).
- The Atlas 14 rainfall depths for the design events are acceptable, however, they should not be used with a SCS Type II storm distribution. A distribution for each design event should be created for each event from the Atlas 14 rainfall information. Technical guidance on importing Atlas 14 distributions into HydroCAD is provided by MnDOT here: [www.dot.state.mn.us/bridge/pdf/hydraulics/ImportingAtlas14DateIntoHydroCAD.pdf](http://www.dot.state.mn.us/bridge/pdf/hydraulics/ImportingAtlas14DateIntoHydroCAD.pdf) alternatively, a NRCS MSE3 distribution which is included in recent versions of HydroCAD may be used with Atlas 14 rainfall depths.
- The outlets of Pond EP1 do not seem to be defined correctly, specifically the routing of devices 1-3. Also please provide further documentation for the discarded flow occurring at 0.6 cfs. This pond appears to be a wet sedimentation pond which do not typically exfiltrate at significant rates based upon aerial photos of the site and the evidence of a permanent pool.
- Pond EP2 appears to utilize incorrect units in the storage definition (acres used as opposed to square feet)
- Pond PO1 outlet device #1 is modeled as a 6" pipe however it is shown on the plans as a 10". The 8" vertical orifice (device #3) should also have a discharge coefficient of 0.6, not 0.8. Furthermore the filtration through the filter bench will be controlling rates into the perforated drain tile. Add the filtration at a rate determined by multiplying rate of filtration by the surface area of the bench and route it to the drain tile outlet.
- Pond PO2 outlet device #1 is modeled as a 8" pipe however it is shown on the plans as a 6". Furthermore the filtration through the filter bench will be controlling rates into the perforated drain tile. Add the filtration at a rate determined by rate of filtration times the surface area of the bench and route it to the drain tile outlet.
- Subcatchment areas EO1 and EO2 both have the same description for undisturbed soil B, however different curve numbers are used. If both of these areas are undisturbed in the existing condition they should both utilize a CN of 61 in the existing condition model.
- Subcatchment areas E1, E2, E3, E4, and EO3 use a CN of 69 (grass cover, fair condition) for the pervious areas in the existing condition. Per RCWD Rule C 7(b) and Table C3, the maximum curve number that may be utilized for existing condition modeling is 61.
- In the proposed model the curve number for the pervious cover (grass cover, fair condition) should be shifted down one HSG for disturbed areas. The recommended CN for pervious areas and HSG C is 74 per RCWD Table C3.
- Subcatchment area EO1 in the proposed model should route to Pond PO1, not directly to the PSE-Total link.

In addition to the modeling error corrections the filtration basin BMP design should demonstrate a maximum 48 hour drawdown time from the 100-year HWL to the bottom of the basin per the requirements of the NPDES Construction Stormwater Permit. Pond 1 also does not conform with the White Bear Township freeboard requirement of 3' between the 100-year high water elevation and low opening. It is also recommended that a minimum slope of 0.4% is utilized on the 12" outlet pipe from Pond 2 to provide a self-cleaning velocity of 3 fps during full flow.

The proposed filtration basins provide approximately 11,697 cf of volume below the low surface outlet, however, a TP removal factor of 0.50 should be applied to the volume (as opposed to 0.65) per RCWD rules Table C1. This results in a water quality treatment volume credit of 5,849 cf. This amount does not satisfy the water quality treatment volume requirement of 7,187 cf based upon 1.1 inches over the net new impervious area of 1.8 acres. In addition to the water quality treatment volume required for the net new impervious, the proposed site features should also make up the water quality treatment lost with the removal of the existing wet sedimentation basin EP2 constructed to comply with water quality requirements during the initial development of the site.

#### **CONTROL OF EROSION AND SEDIMENTATION**

The site plan shows silt fence installed around the perimeter of disturbed areas, inlet protection, biorolls, erosion control blanket, and rock construction entrances. Details of the silt fence installation, bioroll log installation, inlet protection and the rock construction entrance have been included in the plans. A SWPPP has been included but does not include training documentation for the preparer of the SWPPP.

#### **RECOMMENDATIONS**

It is recommended that the proposed project not be approved until hydrologic model corrections are made confirming rate control is satisfied, the water quality treatment volume is demonstrated and basins/structure elevations are modified such that the freeboard is achieved.

rsn

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**Legend**



- City Halls
- Schools
- Hospitals
- Fire Stations
- Police Stations
- Recreational Centers
- Parcel Points
- Parcel Boundaries

**Notes**

Enter Map Description

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.  
**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

600.0 0 300.00 600.0 Feet

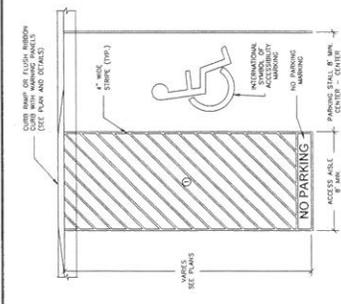




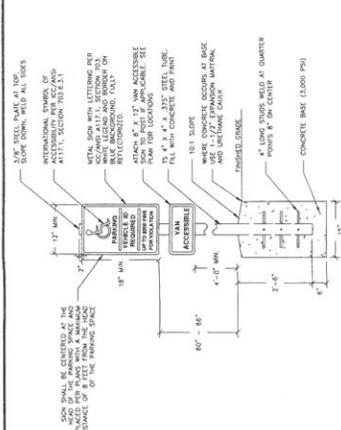
NO.	DESCRIPTION	DATE	REV.

SITE DETAILS  
 CAPRA PROPERTIES, LLC  
 2320 LABEL STREET  
 WHEELER TOWNSHIP, NJ  
 DATE: 01/04/2018  
 DRAWN BY: CJD  
 CHECKED BY: ECR

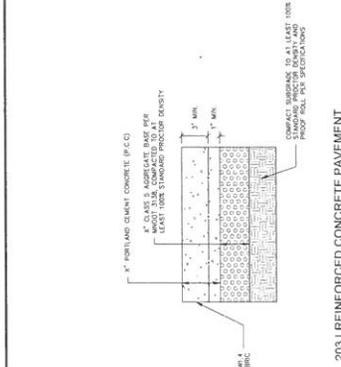
JOB NO: 171265  
 DATE: 01/04/2018  
 DRAWN BY: CJD  
 CHECKED BY: ECR  
 SHEET: **C2.1**



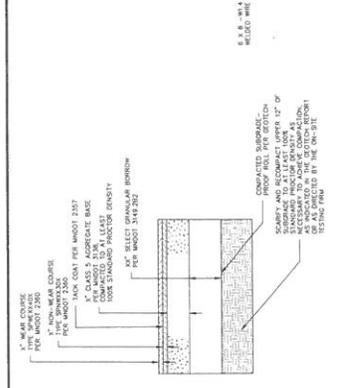
**239 | ACCESSIBLE PARKING PAVEMENT MARKINGS**  
 NOT TO SCALE



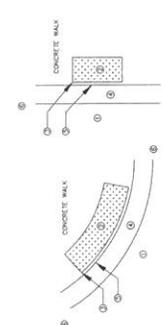
**240 | ACCESSIBLE SIGN AND STEEL POST**  
 NOT TO SCALE



**203 | REINFORCED CONCRETE PAVEMENT**  
 NOT TO SCALE



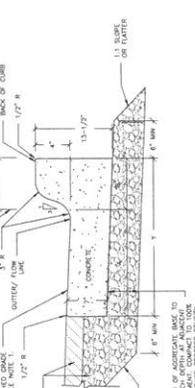
**200 | BITUMINOUS PAVEMENT**  
 NOT TO SCALE



**204 | CONCRETE SIDEWALK**  
 NOT TO SCALE



**206 | DETECTABLE WARNING SURFACE**  
 NOT TO SCALE



CURB TYPE	X	Y
B4.1	12"	20"
B4.1B	18"	24"
B4.2	24"	32"

**210 | B4 STYLE CURB AND GUTTER**  
 NOT TO SCALE

NOTES:  
 1. ACCESSIBLE PARKING SIGN SHALL CONFORM WITH ALL CURRENT STATE, FEDERAL, AND LOCAL CODES AND REGULATIONS.  
 2. ACCESSIBLE PARKING SIGN SHALL BE CENTERED AT THE FULL LENGTH OF THE PARKING SPACE (7' MIN).

NOTES:  
 1. WHEN NO CURB IS REQUIRED, TOWNSHIP AND CONTRACTOR SHALL CONSTRUCT CONCRETE DETECTABLE WALK SURFACE PER DETAIL 206. DETECTABLE WALK SURFACE SHALL BE 24" WIDE AND 2" THICK. DETECTABLE WALK SURFACE SHALL BE 24" WIDE AND 2" THICK. DETECTABLE WALK SURFACE SHALL BE 24" WIDE AND 2" THICK. DETECTABLE WALK SURFACE SHALL BE 24" WIDE AND 2" THICK.

NOTES:  
 1. DIRECTION OF IN-OUT GUTTER SHALL MATCH DIRECTION OF ADJACENT PAVEMENT SLOPE.  
 2. PROVIDE TOOLS OR SAW CUT JOINTS AT 10' SPACING. EXPANSION JOINTS AT 40' MAXIMUM SPACING.  
 3. CONSTRUCT CURB AND GUTTER PER DETAIL 210.

NOTES:  
 1. DIRECTION OF IN-OUT GUTTER SHALL MATCH DIRECTION OF ADJACENT PAVEMENT SLOPE.  
 2. PROVIDE TOOLS OR SAW CUT JOINTS AT 10' SPACING. EXPANSION JOINTS AT 40' MAXIMUM SPACING.  
 3. CONSTRUCT CURB AND GUTTER PER DETAIL 210.







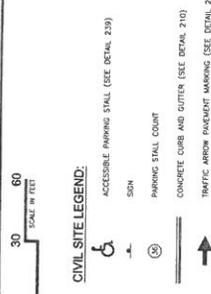








REV. BY	DESCRIPTION	DATE



- KEY NOTES:**
- BRICKWORK PAVEMENT (SEE DETAIL 200)
  - CONCRETE (SEE DETAIL 204)
  - BRICK CURB AND GUTTER (SEE DETAIL 210)
  - BRICK CURB FLUSH WITH ADJACENT PAVEMENT (SEE DETAIL 212)
  - CURB LAP (SEE DETAIL 214)
  - ENTRANCE APRON (SEE DETAIL 220)
  - CURB OPENING (SEE DETAIL 227)
  - ACCESSIBLE STALL SIGN (SEE DETAIL 240)
  - STOP SIGN (SEE DETAIL 243)
  - PROPOSED BUILDING. SEE ARCHITECTURAL FOR EXACT LOCATIONS AND DIMENSIONS. SEE ARCHITECTURAL AND STRUCTURAL FOR STOPS.

**SITE DATA**

SITE/PANEL SIZE	213 AC (92,781 SF)
BUILDING AREA	18,000 SF (COVERED)
IMPERVIOUS/PENVIOUS AREA	1.49 AC/0.64 AC (COVERED)
LAND USE CLASSIFICATION	XXXXXXXXXX
CURRENT ZONING	XXXXXXXXXX
FLOOD ZONE CLASSIFICATION	XXX

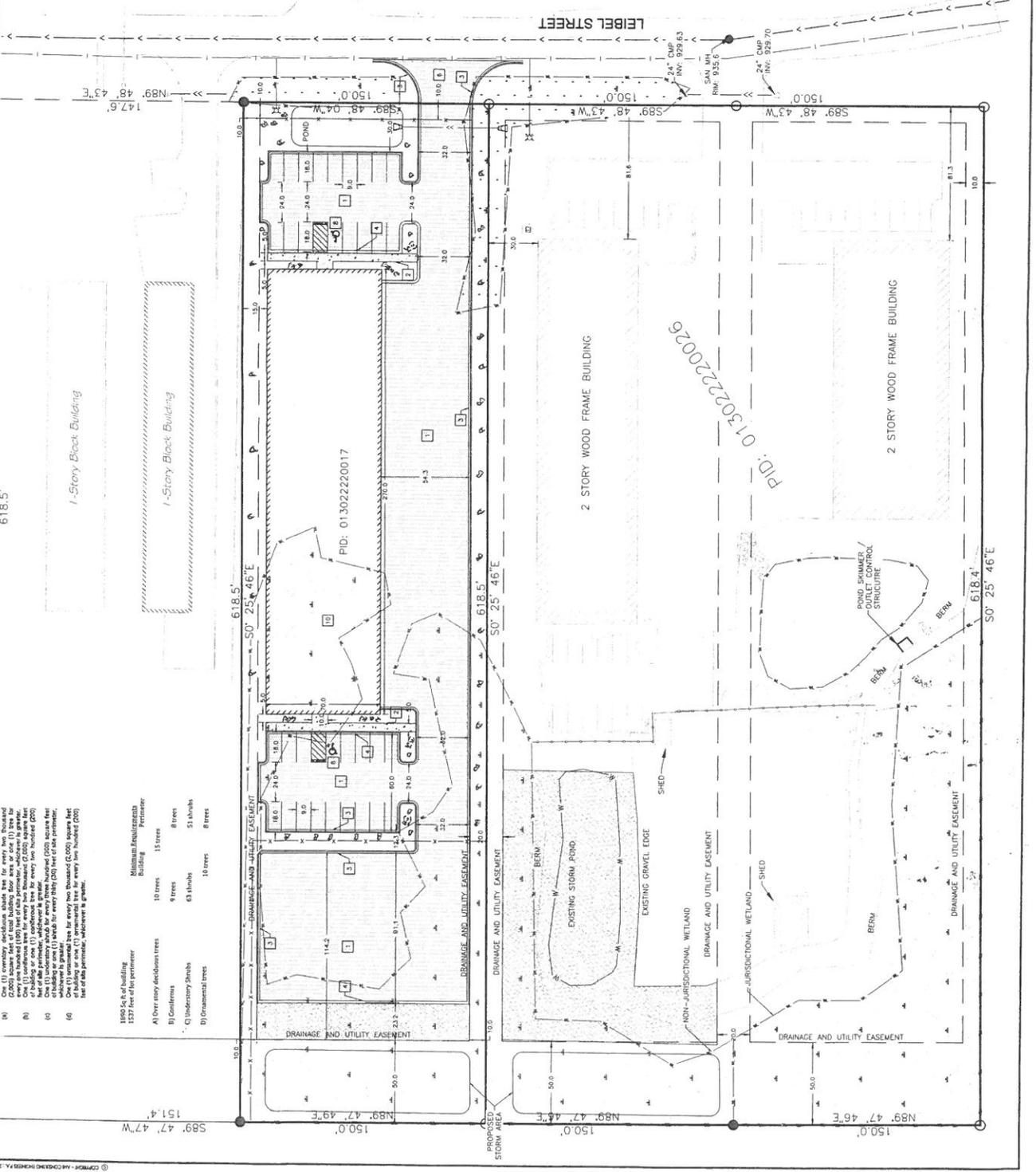
PROPERTY IDENTIFICATION NUMBER (PID)	IMPERVIOUS COVERAGE
013022220017	70%
013022220026	30%

**GENERAL GEOMETRIC AND PAVING NOTES:**

- SEE REMARKS SHEET ON THIS PLAN FOR ALL NOTES. CHECK ALL PLAN AND DETAIL DIMENSIONS, BUILDING AND SITE IMPROVEMENTS SHALL BE Laid OUT ON SITE BY A REGISTERED LAND SURVEYOR OR A LICENSED ENGINEER.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING LAYOUT, EXACT LOCATION AND DIMENSIONS.
- REFER TO SITE EROSION PLAN FOR LIMITS OF EROSION REMOVAL, IF APPLICABLE.
- ALL PAVING DIMENSIONS ARE TO FLOW LINE OF CURB UNLESS OTHERWISE NOTED. THE FLOW LINE OF CURB IS ASSUMED TO BE 8 INCHES FROM THE BACK OF CURB.
- MEET REQUIREMENTS OF LOCAL GOVERNING AUTHORITY FOR WORK WITHIN THE PUBLIC RIGHT OF WAY, INCLUDING TEMPORARY TRAFFIC CONTROL, A TRAFFIC CONTROL PLAN, AND A SIGNAGE PLAN APPROVED AND APPLIED BY THE CITY PRIOR TO BEGINNING WORK IN THE RIGHT OF WAY.
- ALL SIDEWALKS SHALL HAVE POSTING SLOPE AWAY FROM THE BUILDING. THE MAXIMUM SLOPE SHALL BE 2.0% AND THE MAXIMUM LONGITUDINAL SLOPE SHALL BE 5.0% UNLESS OTHERWISE NOTED.
- NO SLOPE IN ANY DIRECTION SHALL EXCEED 2% IN ACCESSIBLE PARKING AND LOADING AREAS.
- MATCH NEW AND EXISTING PAVEMENT SURFACES, SIDEWALKS AND CURBS AT JUNCTURE LINES, ALLOWING NO POOLING OF WATER AT JOINTS. PROVIDE SMOOTH GRADE TRANSITION ACROSS NEW AND EXISTING JOINTS.
- ALLOW MINIMUM OF SEVEN DAYS CURE FOR CURB AND GUTTER PRIOR TO PAVING.
- ALLOW MINIMUM OF 24 HOUR CURE FOR CURB AND GUTTER PRIOR TO BRICKWORK PAVING.
- PROVIDE A TRANSITION OF BIBLE CURB AND GUTTER EITHER SIDE OF RECTANGULAR PAVEMENT TO MATCH WITHIN OF CURBING.

STATE LAW: 48 HOURS BEFORE EXCAVATING ON ANY PUBLIC BUILDING, CALL 811 FOR FIELD LOCATION OF ALL UTILITIES. CALL 811 FOR FIELD LOCATION OF ALL UTILITIES. UTILITIES UNDEGROUND LINES BUT NOT PRIVATE LINES. THE LOCATION OF UNDEGROUND UTILITIES ARE SHOWN INDEPENDENTLY VERIFIED. THE LOCATION OF ALL UTILITIES (PUBLIC AND PRIVATE) WILL BE DETERMINED BEFORE COMMENCING WORK.

Know what's below.  
 Call before you dig.



- MINIMUM RETENTION REQUIREMENTS:**
- Over 1500 sq ft of building: 15 trees
  - Over 1000 sq ft of building: 10 trees
  - Over 500 sq ft of building: 5 trees
  - Over 250 sq ft of building: 3 trees
  - Over 100 sq ft of building: 2 trees
  - Over 50 sq ft of building: 1 tree

- MINIMUM RETENTION REQUIREMENTS (continued):**
- Over 1500 sq ft of building: 15 trees
  - Over 1000 sq ft of building: 10 trees
  - Over 500 sq ft of building: 5 trees
  - Over 250 sq ft of building: 3 trees
  - Over 100 sq ft of building: 2 trees
  - Over 50 sq ft of building: 1 tree

- MINIMUM RETENTION REQUIREMENTS (continued):**
- Over 1500 sq ft of building: 15 trees
  - Over 1000 sq ft of building: 10 trees
  - Over 500 sq ft of building: 5 trees
  - Over 250 sq ft of building: 3 trees
  - Over 100 sq ft of building: 2 trees
  - Over 50 sq ft of building: 1 tree

- MINIMUM RETENTION REQUIREMENTS (continued):**
- Over 1500 sq ft of building: 15 trees
  - Over 1000 sq ft of building: 10 trees
  - Over 500 sq ft of building: 5 trees
  - Over 250 sq ft of building: 3 trees
  - Over 100 sq ft of building: 2 trees
  - Over 50 sq ft of building: 1 tree

- MINIMUM RETENTION REQUIREMENTS (continued):**
- Over 1500 sq ft of building: 15 trees
  - Over 1000 sq ft of building: 10 trees
  - Over 500 sq ft of building: 5 trees
  - Over 250 sq ft of building: 3 trees
  - Over 100 sq ft of building: 2 trees
  - Over 50 sq ft of building: 1 tree









TOWN OF WHITE BEAR

JAN 04 2018

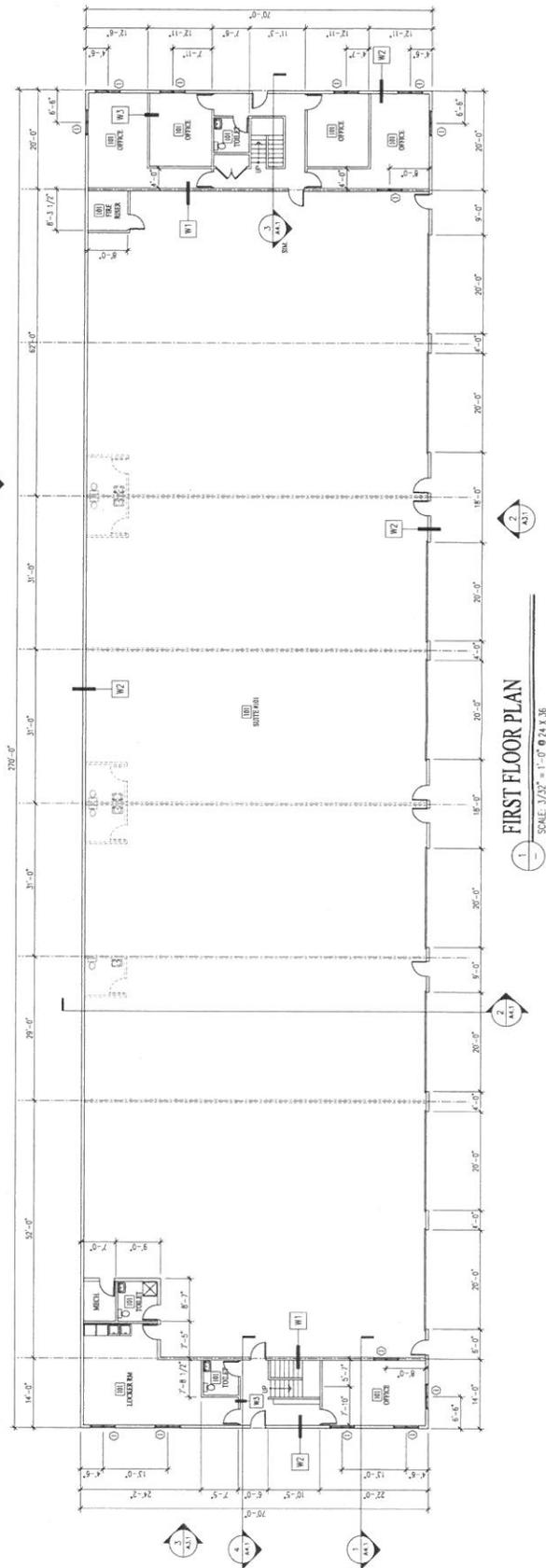
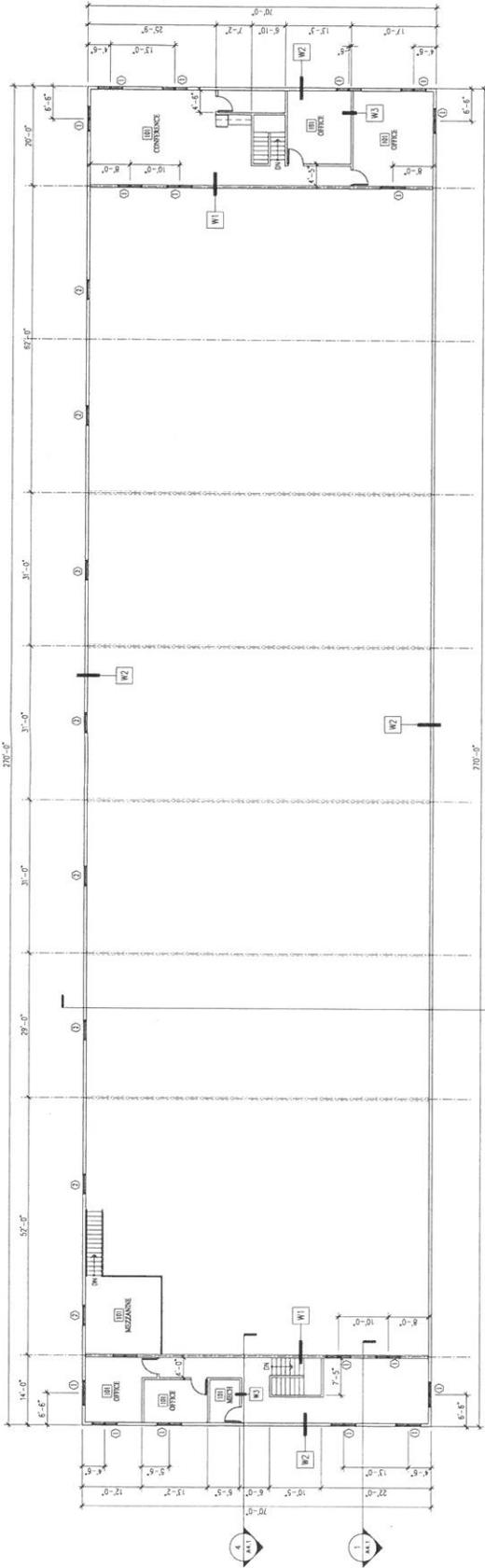
RECEIVED

WHITE BEAR LAKE TOWNSHIP, MN  
2320 LABEL STREET

CAPRAS UTILITIES BUILDING

A2.0

DATE: 12-30-17



ROOF/CEILING SYSTEM ASSEMBLIES	
RC-1	
<p>3/4" TC ARCHITECTURAL ANGLES 5/8" PL BUILDING PAPER 5/8" PL WOOD SHEATHING 1" R-19 F.C. INSULATION 1/2" POLY-VA. INSULATION 1/2" POLY-VA. INSULATION 5/8" TYPE 'X' GYPSUM BOARD</p>	
FLOOR/CEILING SYSTEM ASSEMBLIES	
FC-1	
<p>3/4" TC PLASTWOOD OPEN WEB FLOOR TRUSSES 5/8" GYP. BD.</p>	
FC-2	
<p>9" CONC. SLAB W/ FIBER REIN. 6" HL. POLY. VA. 6" SAND CEMENT</p>	

WALL TYPES AND ASSEMBLIES	
W1	
<p>5" OC OR (OFFICE STUDS) 2" X 6" WOOD STUDS PRG-RIB STEEL</p>	
W2	
<p>5/8" (SEE ELEVATIONS) 1/2" POLYWOOD SHEATHING 2" X 6" WOOD STUDS R-19 F.C. INSULATION 1/2" POLY-VA. INSULATION PRG-RIB STEEL</p>	
W3	
<p>5/8" TYPE 'X' GYP. BD. 2" X 4" WOOD STUDS 5/8" TYPE 'X' GYP. BD.</p>	

**ACCESSIBILITY NOTES**

**SEWAGE:**  
SEWAGE CHANGES SHALL BE LOCATED BEHIND THE DOOR ON THE MATCH SIDE AND BE MOUNTED 48" ABOVE THE FINISH FLOOR TO CENTER OF 60W AND BE LOCATED ON THE MATCH SIDE OF THE DOOR. SEWAGE CHANGES SHALL BE MOUNTED 48" ABOVE THE FINISH FLOOR TO CENTER OF 60W AND BE LOCATED ON THE MATCH SIDE OF THE DOOR. SEWAGE CHANGES SHALL BE MOUNTED 48" ABOVE THE FINISH FLOOR TO CENTER OF 60W AND BE LOCATED ON THE MATCH SIDE OF THE DOOR. SEWAGE CHANGES SHALL BE MOUNTED 48" ABOVE THE FINISH FLOOR TO CENTER OF 60W AND BE LOCATED ON THE MATCH SIDE OF THE DOOR.

**BARREER-FREE SWITCHE:** SWITCHE SHALL BE MOUNTED WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY CENTERED 48" ABOVE FLOOR LETTERS AND NUMBERS ON SIGNS SHALL BE IMPERMEABLE AND RAISED BY 1/16" CHARACTERS OR SYMBOLS SHALL BE AT LEAST 3/16" HIGH BUT NO HIGHER THAN 2" IN INDICATED CHARACTERS OR SYMBOLS SHALL HAVE A STROKE BOTH OF AT LEAST 7/16" SYMBOOLS OR PHOTOGRAPHS ON SIGNS SHALL BE RAISED OR INDENTED 3/16" IN.

**EXTINGUISHERS AND CABINETS:**  
ONE MOUNTED 36" FROM FINISH FLOOR TO CENTER OF EXTINGUISHER OR CABINET.  
BLOCKS.

**PROVIDE SOLID 2X8 WOOD BLOCKS FOR GRAB BARS AT ACCESSIBLE WATER CLOSET.**

**LAVAZOSES:**  
LAVAZOSES SHALL HAVE A CLEAR FLOOR SPACE OF 30" WIDE, A CLEAR HEIGHT OF 78" MIN. TO THE BOTTOM OF THE FIXTURE OF RIB BOARD, A MAXIMUM HEIGHT OF 34" TO THE TOP OF THE FIXTURE, AND A UNOBSTRUCTED DEPTH OF 11" MIN. UNDER THE FIXTURE EXCLUSIVE OF THE SINK AND WASTED PIPES. INSULATE ALL HOT AND COLD WATER SUPPLY, AND WASTE.

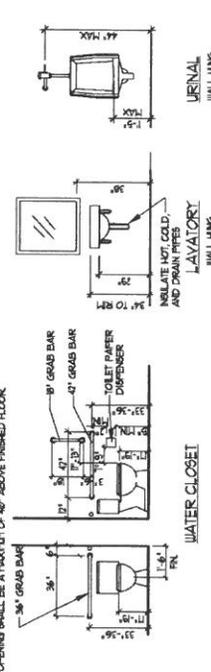
**WATER CLOSETS:**  
TOILET SEATS SHALL BE 17" ABOVE FINISHED FLOOR. THE CENTER OF THE TOILET SHALL BE 18" OFF THE FINISHED WALL SURFACE. THE WATER CONTROL VALVE MUST HAVE LEVER HANDLE.

**GRAB BARS:**  
GRAB BARS MUST BE MOUNTED ON ONE SIDE AND THE REAR WALL AT WATER CLOSET, AND MUST BE 1" DIAMETER AND BE 1/4" CLEAR FROM WALLS. SUCH GRAB BARS MUST BE MOUNTED 33" FROM THE CENTER OF THE TOILET AND HAVE A NON-SLIP SURFACE. HORIZONTAL GRAB BARS SHALL BE MOUNTED 33" FROM THE CENTER OF THE TOILET AND HAVE A NON-SLIP SURFACE. VERTICAL GRAB BARS SHALL BE MOUNTED 33" FROM THE CENTER OF THE TOILET AND HAVE A NON-SLIP SURFACE. HORIZONTAL GRAB BARS SHALL BE MOUNTED 33" FROM THE CENTER OF THE TOILET AND HAVE A NON-SLIP SURFACE. VERTICAL GRAB BARS SHALL BE MOUNTED 33" FROM THE CENTER OF THE TOILET AND HAVE A NON-SLIP SURFACE.

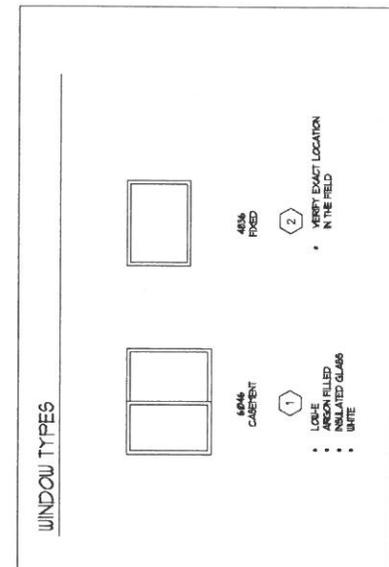
**TOILET ROOM ACCESSORIES:**  
MIRRORS SHALL BE MOUNTED SO THAT THE BOTTOM OF THE REFLECTIVE SURFACE IS NO MORE THAN 30" ABOVE THE FINISH FLOOR.

**TOILET SEATERS AND OTHER:**  
INSTALL WITH THE OPENING BETWEEN 11" - 19" IN FRONT OF THE WATER CLOSET. ONE OPENING IS BETWEEN 19" AND 48" ABOVE FINISHED FLOOR WITH A CLEARANCE OF 7" MIN. BELOW OR 11" MIN. ABOVE GRAB BAR.

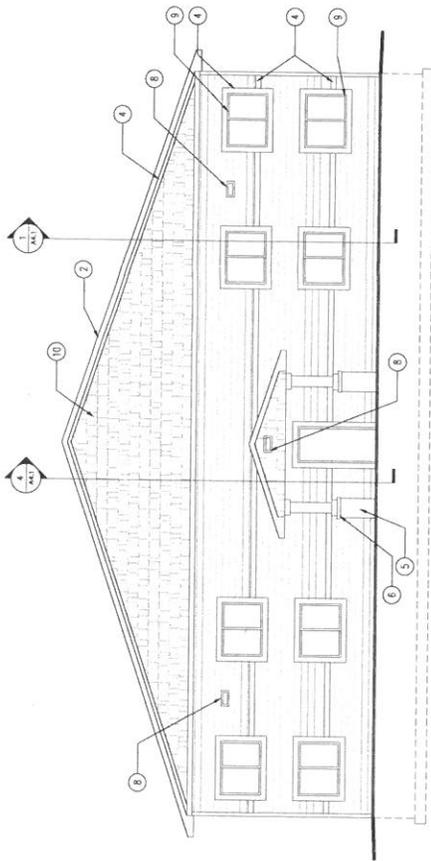
**WATER CLOSET DISPENSERS:**  
OPENING SHALL BE A MINIMUM OF 48" ABOVE FINISHED FLOOR.



**MINNESOTA HANDICAPPED ACCESSIBLE NOTES**

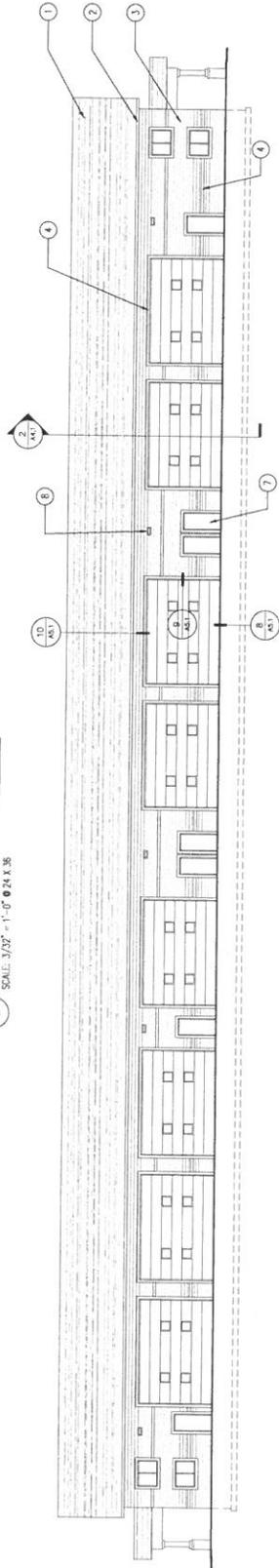


1	30 YEAR ARCHITECTURAL ASPHALT SHINGLES
2	PREPRESSED METAL FACIA
3	SIDING - HARD BOARD
4	6" TERT BOARD
5	STONE VENEER
6	PRECAST SILL
7	HOLLOW METAL DOOR AND FRAME
8	WALL PANEL LIGHT
9	WINDOW
10	8-PIECE SIDING
11	VINYL SIDING
12	
13	
14	
15	
16	



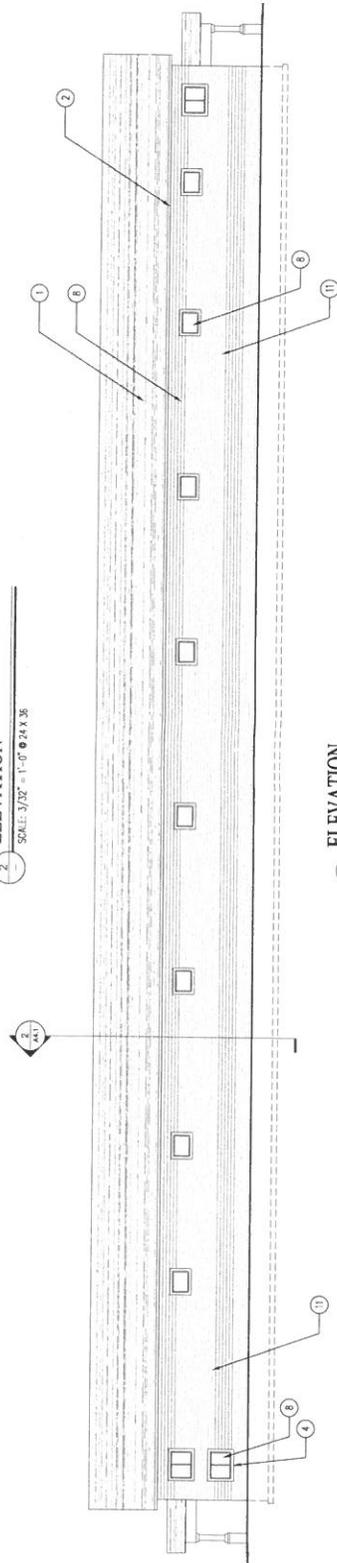
**ELEVATION**

SCALE: 3/32" = 1'-0" @ 24 X 36



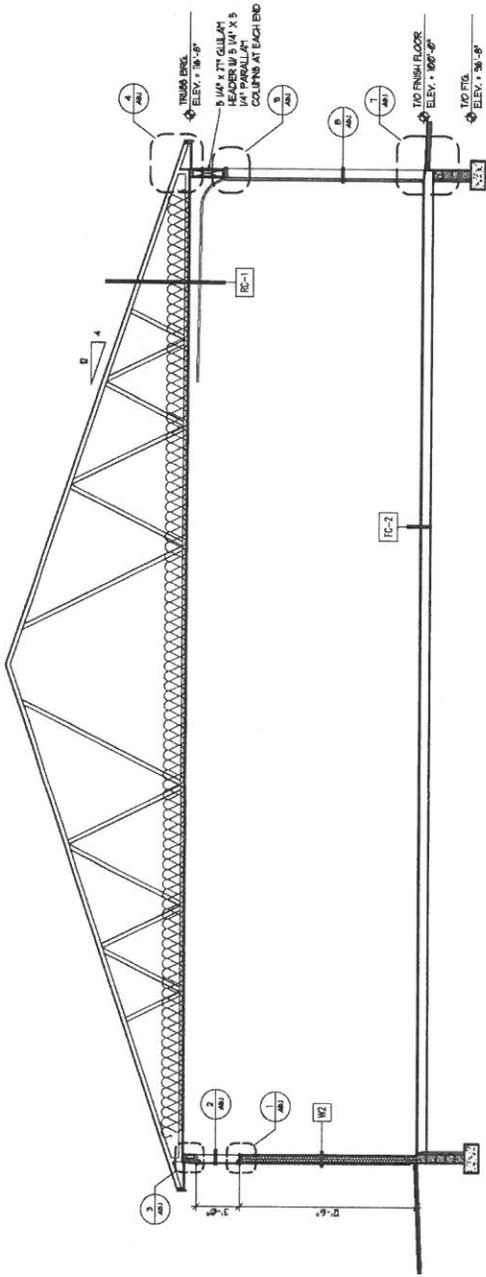
**ELEVATION**

SCALE: 3/32" = 1'-0" @ 24 X 36

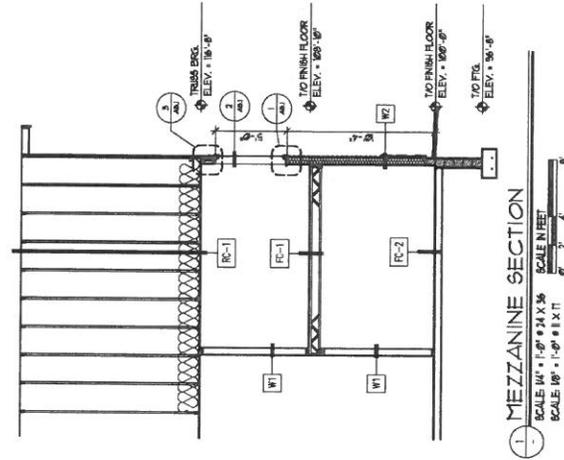


**ELEVATION**

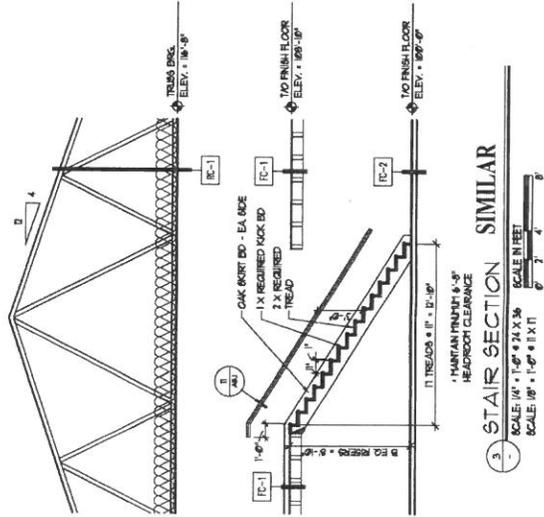
SCALE: 3/32" = 1'-0" @ 24 X 36



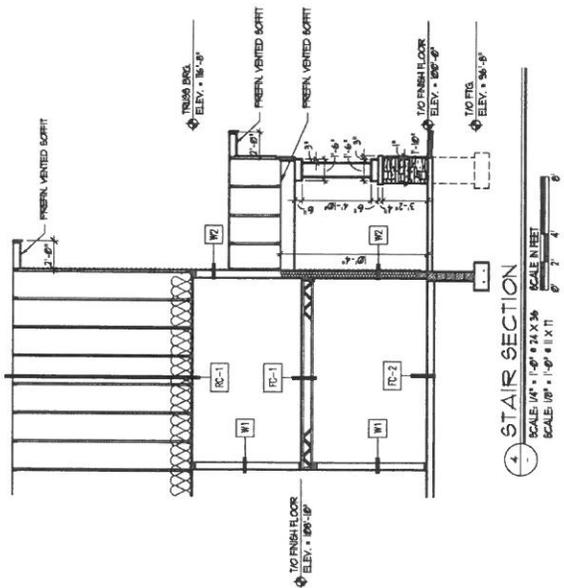
**2 BUILDING SECTION**  
 SCALE 1/4" = 1'-0" @ 24 X 36 SCALE IN FEET  
 SCALE 1/8" = 1'-0" @ 11 X 11



**1 MEZZANINE SECTION**  
 SCALE 1/4" = 1'-0" @ 24 X 36 SCALE IN FEET  
 SCALE 1/8" = 1'-0" @ 11 X 11



**3 STAIR SECTION SIMILAR**  
 SCALE 1/4" = 1'-0" @ 24 X 36 SCALE IN FEET  
 SCALE 1/8" = 1'-0" @ 11 X 11



**4 STAIR SECTION**  
 SCALE 1/4" = 1'-0" @ 24 X 36 SCALE IN FEET  
 SCALE 1/8" = 1'-0" @ 11 X 11





- Site locations and adjacent land use.
- Site grading and drainage plan.
- Topography (no greater than 2 foot intervals).
- Wetlands (delineation of streams, water bodies, wetlands and 100 year storm elevation).
- Paved or surfaced area (include type or materials and function of area to be paved).
- Proposed landscaping (include existing trees 7 inches or greater and large shrub massings).
- Building plans (size, intended use of structures, exterior finishes, floor plans and elevations).
- Schedule (when applicant intends to construct).
- Additional information if required.
- Certificate of Survey.
- Permits or written comments from other agencies (DNR, COE, RCWD, VLAWMO, Ramsey County Public Works, MPCA).

REVIEW PROCESS:

1. Submit 15 copies of application and all supporting information to Town Planner (minimum of 3 weeks prior to Planning Commission Meeting).
2. Planning Commission \_\_\_\_\_ (4<sup>th</sup> Thursday of the month @ 7:00 p.m. at the Town Hall).
3. Town Board \_\_\_\_\_ (1<sup>st</sup> Monday of the following month @ 7:00 p.m. at Town Hall).

STANDARDS:

The Town Board will approve a Permitted Use Standards Permit only if the following facts are established.

- \_\_\_ 1. There will be no detraction from the appearance of adjacent properties or Town as a whole.
- \_\_\_ 2. There will not be aesthetic incompatibility.
- \_\_\_ 3. There will not be aural incompatibility (noise).
- \_\_\_ 4. There will not be damage to vegetation.
- \_\_\_ 5. Traffic patterns will not be negatively affected.
- \_\_\_ 6. There is no unnecessary loss of existing natural features.
- \_\_\_ 7. Will not cause soil erosion.
- \_\_\_ 8. Will not increase flood potential.

- \_\_\_ 9. The proposal is consistent with the Comprehensive Plan and complies with other Ordinances.
- \_\_\_ 10. Will not result in unusual maintenance or repair costs of road, parking areas or utility lines.
- \_\_\_ 11. The maximum number of trees will be preserved.
- \_\_\_ 12. The type and density of land use proposed will be suited to site conditions.
- \_\_\_ 13. The proposed use will be designed, sited, oriented, and landscaped to produce a harmonious relationship with building and properties in the neighborhood.
- \_\_\_ 14. The site will be landscaped to screen undesirable features and enhance the development.

It is the policy of White Bear Township that all identifiable costs associated with Permitted Use Standards Permits within the Township shall be the sole responsibility of the owner of said property. The costs shall include, but are not limited to: Township planning review costs (reports, meetings, site review); engineering review costs; legal costs, (preparation of hearing notices, legal research, certification costs); publication costs (notice of hearing); reapportionment of assessments (engineers report); mailings and Ownership Reports (ownership/encumbrance).

Prior to the final approval by the Town Board, all Township expenses to date shall be paid by the owner. Subsequent expenses not paid at the time of final approval (due to billings by consultants, etc.), shall be due upon receipt of a billing from the Township.

\_\_\_\_\_  
*[Signature]*  
 Signature of Applicant(s)

1-3-18  
 \_\_\_\_\_  
 Date

To Be Completed By Office:		CL# 6108 6109	
Date Request Received	1/4/18		
By	<i>[Signature]</i> (Staff Member)	\$75.00 Fee + \$200 Deposit Received	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Date Application Complete	_____		



**Planning Commission Meeting  
January 25, 2018**

**Agenda Number:** 8 - 9

**Subject:** Added Agenda Items  
Adjournment

**Documentation:**

**Action / Motion for Consideration:**



## Planning Commission Meeting January 25, 2018

**Subject:** Items passed by the Town Board Pertaining to the Planning Commission

**Documentation:** Minutes

Minutes  
Town Board Meeting  
January 3, 2018

**COMPREHENSIVE PLAN – AUTHORIZE TKDA TO SUPPLY NECESSARY DATA TO THE TOWNSHIP TO COMPLETE THE COMPREHENSIVE PLAN UPDATE:**

The Town Engineer reported that the Town Board authorized Hoisington Kogler Group, Inc. to prepare the Comprehensive Plan update. Their proposal did not include preparing the Transportation, Sanitary Sewer, Watermain or Storm Sewer data for the Plan update. The Planner and Public Works Director will be preparing and updating the Transportation portion of the Plan using data they are receiving from Ramsey County including the TAZ (traffic assignment zone) reports. HKgi and Town staff are not able to provide the technical data of the remaining portions of the Plan. TKDA has received a letter of required documentation for the Plan from HKgi. TKDA has reviewed this request with Town Staff and will follow the System Statements developed by the Metropolitan Council to perform the work. The work will address the sanitary sewer capacity in the Centerville Road main that both North Oaks and Lino Lakes are planning to use. The work will be substantially completed for the Township Annual meeting presentation. TKDA will finish the requirements following the meeting's comments. TKDA would obtain the necessary existing documentation to prepare the sanitary sewer, watermain, and storm sewer updated data, charts and maps for an amount not to exceed \$22,500. This information will then be incorporated into the Plan update. The funding for this activity will come from the Sanitary Sewer, Water, and Storm Funds. Kermes asked if the information provided to Hoisington Kogler Group from TKDA will be incorporated into the Comprehensive Plan by HKgi. The Clerk stated it would, as part of their Scope of Services. Kermes asked if North Oaks and Lino Lakes will participate in TKDA's cost for preparing the information for North Oaks and Lino Lakes. The Clerk stated certain capacity information will be forwarded to North Oaks and Lino Lakes but that they are not expected to have any cost participation at this time.

Prudhon moved, based on Town Engineer review and recommendation to authorize TKDA to prepare the sanitary sewer, watermain, and storm sewer update data, charts & maps to be incorporated into the Comprehensive Plan update in an amount not to exceed \$22,500 with funding from the Sanitary Sewer, Water and Storm Water Funds. Ruzek seconded. Ayes all.